

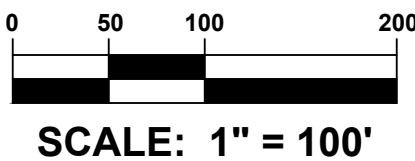
PROJECT TITLE

**WESTERN SUSSEX BUSINESS CAMPUS**

CITY OF SEAFORD  
SUSSEX COUNTY, DE

SHEET TITLE

**COVER SHEET & GENERAL NOTES**



ISSUE BLOCK

NO.	DATE	DESCRIPTION
6.	02-03-23	REVISED PER DNREC COMMENTS ISSUED ON 02-01-2023
5.	12-16-22	REVISED PER SCD COMMENTS ISSUED ON 12-07-2022
4.	11-30-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 11-18-2022
3.	11-15-22	REVISED PER CITY OF SEAFORD COMMENTS ISSUED ON 10-11-2022
2.	10-10-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 09-22-2022
1.	10-07-22	REVISED PER SCD COMMENTS ISSUED ON 10-03-2022

MARK DATE DESCRIPTION

LAYER: STATE\_C001

PROJECT NO.: 2021150.00

DATE: 09-12-2022

SCALE: 1" = 100'

DRAWN BY: A.C.F. | PROJ. MGR.: J.D.R.

SHEET

**C-001**

COPYRIGHT: 2021

**SITE DATA**

1. OWNER OF RECORD:	KRM - SEAFORD 1 LLC 205 CANNON STREET CHESTERTOWN, MD 21620 JPARKS@KRM-DEV.COM 410-810-1574
2. ENGINEER:	BECKER MORGAN GROUP INC. 309 S GOVERNORS AVENUE DOVER, DE 19904 JRICHARD@BECKERMORGAN.COM 302-734-7950
3. PROPERTY MAP NUMBER:	331-5-00-4-29
4. ZONING CLASSIFICATION:	EXISTING: M-1 - LIGHT INDUSTRIAL PROPOSED: M-1 - LIGHT INDUSTRIAL
5. DEED SUMMARY:	5615 - 259
6. PLAT REFERENCE:	341 - 76
7. PRESENT USE:	VACANT LAND
8. PROPOSED USE:	OFFICE FLEX / MANUFACTURING
9. TOTAL SITE AREA:	16.44 ACRES
10. PROPOSED BUILDING:	BUILDING: 2 BUILDINGS - 70,000 S.F. = 140,000 S.F.
11. IMPERVIOUS COVERAGE:	EXISTING: 0 S.F. (0 ACRES) PROPOSED: 339,446 S.F. (7.79 ACRES)
12. PARKING CALCULATIONS:	1 SPACE FOR EVERY 1000 S.F. OF GFA 140,000 S.F. / 1,000 S.F. = 140 PARKING SPACES PROVIDED: 187 PARKING SPACES PROVIDED HANDICAP PARKING SPACES: 16 LOADING BERTHS: 1 SPACE FOR AND COMMERCIAL OR INDUSTRIAL OVER 3,500 S.F. PROVIDED: 27
13. SETBACKS:	M-1 - LIGHT INDUSTRIAL FRONT: 25 FT. SIDE: 25 FT. REAR: 15 FT.
14. LOT SIZE:	2 AC. MIN.
15. LANDSCAPE REQUIREMENT:	1 SPACE FOR EVERY 1000 S.F. OF GFA 210,000 S.F. / 1,000 S.F. = 210 PARKING SPACES 276 PARKING SPACES PROVIDED FUTURE PERMIT SUBMISSION:
16. SIGNAGE:	PERMITTED: 50% 716,126.40 S.F. / 2 = 358,063.20 S.F. PROPOSED: 20% 140,000 S.F. / 716,126.40 S.F. = 20%
17. LOT COVERAGE:	PERMITTED: 30% 716,126.40 S.F. * 0.30 = 214,938 S.F. PROPOSED: 28% 201,246 S.F. / 716,126.40 S.F. = 28%
18. PAVED AREA COVERAGE:	PERMITTED: 60% PROPOSED: 60%
19. BUILDING HEIGHT:	CITY OF SEAFORD PROPOSED: 60'
20. SOURCE OF WATER:	CITY OF SEAFORD
21. SOURCE OF SEWER:	CITY OF SEAFORD
22. SOURCE OF GAS:	CHESAPEAKE UTILITIES
23. SOURCE OF ELECTRIC:	CITY OF SEAFORD
24. PROJECTED SANITARY SEWER FLOW DATA:	AVERAGE DAILY FLOW OFFICE / FLEX / MANUFACTURING BUILDING: 140,500 S.F. BASIS OF DESIGN: 0.1 GALLONS / DAY / SQUARE FEET 140,500 S.F. x 0.1 GPD/S.F. = 14,050 GPD 14,050 / 300 = 46.83 = 47 EDU'S

**SHEET INDEX**

<b>CONSTRUCTION PLANS</b>
C-001 COVER SHEET & GENERAL NOTES
C-101 EXISTING CONDITIONS & DEMOLITION PLAN
C-201 SITE, SIGNAGE & STRIPING PLAN
C-301 UTILITY PLAN
C-401 GRADING PLAN
<b>SEDIMENT AND STORMWATER MANAGEMENT PLANS</b>
C-500 COVER SHEET AND GENERAL NOTES
C-501 PRE-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
C-502 CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
C-503 EROSION AND SEDIMENT CONTROL DETAIL SHEET
C-504 EROSION AND SEDIMENT CONTROL DETAIL SHEET
C-505 EROSION AND SEDIMENT CONTROL DETAIL SHEET
<b>CONSTRUCTION DETAILS</b>
C-901 SITE CONSTRUCTION DETAILS
C-902 SITE CONSTRUCTION DETAILS
<b>LANDSCAPE PLANS</b>
L-101 LANDSCAPE PLAN

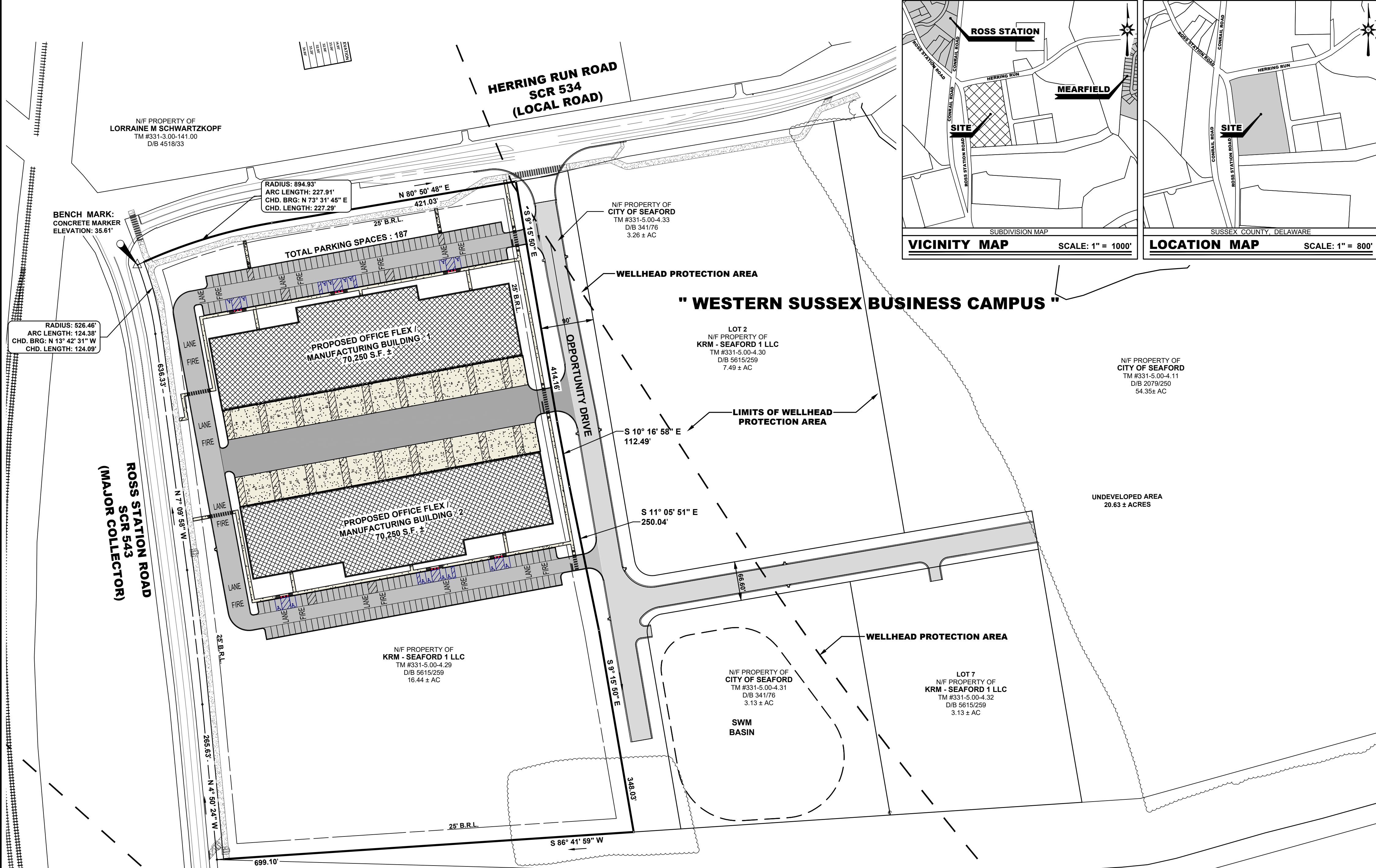
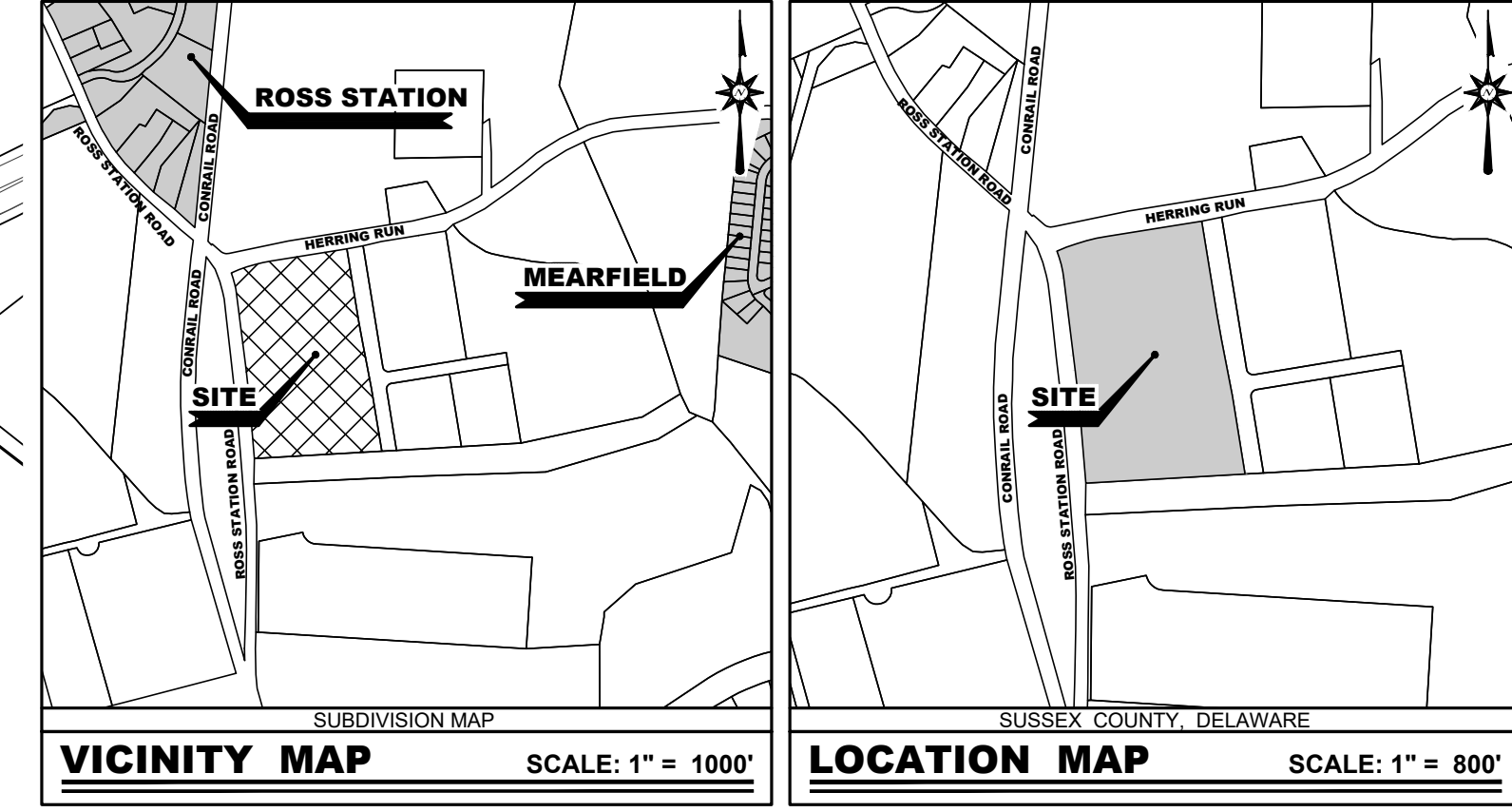
**GENERAL NOTES:**

- TOPOGRAPHIC AND BOUNDARY SURVEY DATA SHOWN HEREON WAS PREPARED BY GEORGE, MILES & BUHR, LLC. VERTICAL DATUM IS BASED ON NAVD 88.
- THE EXISTING UTILITIES SHOWN WERE TAKEN FROM THE BEST AVAILABLE RECORDS. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA (1-800-282-8555) TO VERIFY THEIR EXACT LOCATION PRIOR TO THE START OF ANY CONSTRUCTION. ANY DAMAGE INCURRED TO ANY UTILITIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR RELIES ON THE UTILITY LOCATIONS SHOWN HEREON, HE DOES SO AT HIS OWN RISK AND WILL NOT BE ENTITLED TO ADDITIONAL COMPENSATION DUE TO TIME DELAYS FROM SAID RELIANCE.
- THIS AREA OF DEVELOPMENT IS NOT IMPACTED BY THE 100 YEAR FLOOD PLAN AS SHOWN ON FIRM 10005C0261K, EFFECTIVE DATE 06-20-2018.
- BECKER MORGAN GROUP CERTIFIES THAT THERE ARE NO FRESH WATER WETLANDS LOCATED WITHIN THE IMPROVED AREA. ALL ROADS, PARKING AND OTHER PAVED AREAS WILL BE PRIVATELY OWNED AND MAINTAINED AND ARE NOT INTENDED FOR DEDICATION.
- DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING EXCAVATION MUST BE REMOVED AND PROPERLY DISCARDED.
- ALL ACCESSIBLE PARKING DEMARCATION, STALLS, AND BUILDING ACCESSIBLE ROUTES SHALL COMPLY WITH THE "AMERICAN WITH DISABILITIES ACT".
- THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENT FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.
- BEFORE THE CONTRACTOR CAN BEGIN CONSTRUCTION HE OR SHE MUST OBTAIN THE PROPER PERMITS AND/OR APPROVALS FROM THE CITY OF SEAFORD, SUSSEX CONSERVATION DISTRICT (S.C.D.), DELAWARE DEPARTMENT OF TRANSPORTATION (DELDOT), SUSSEX COUNTY DEPARTMENT OF PUBLIC WORKS, AND APPROPRIATE STATE AND COUNTY AGENCIES.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE CITY OF SEAFORD AND THE STATE OF DELAWARE STANDARDS.
- MISS UTILITY OF DELMARVA SHALL BE NOTIFIED THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
- THE EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA (SEE NOTE #1).
- THIS AREA OF DEVELOPMENT IS NOT IMPACTED BY THE WELLHEAD PROTECTION AREA.
- THIS PROJECT WAS APPROVED BY PLANNING & ZONING ON MAY 5TH, 2022 BY CITY & COUNCIL ON MAY 24TH, 2022

**ADDITIONAL CONSTRUCTION PLAN NOTES:**

- 48-HOUR NOTICE MUST BE GIVEN TO THE CITY OF SEAFORD PRIOR TO ANY CONSTRUCTION ACTIVITY STARTING.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF SEAFORD "STANDARD SPECIFICATIONS AND DETAILS".
- ALL SITE IMPROVEMENTS INCLUDING LANDSCAPING, PERMANENT SITE STABILIZATION AND PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE IN PLACE AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- AS-BUILT PLANS ARE REQUIRED TO BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL BEFORE DEDICATION OF ANY IMPROVEMENTS IS ACCEPTED BY THE TOWN.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN A COPY OF THE CURRENT CITY OF SEAFORD STANDARD SPECIFICATIONS AND DETAILS MANUAL AND A SET OF THE APPROVED CONSTRUCTION PLANS, ON THE SITE AT ALL TIMES DURING CONSTRUCTION.

**RECORDER OF DEEDS ACKNOWLEDGEMENT:**



ITEM	EXISTING	PROPOSED
SANITARY GRAVITY SEWER LINE, SIZE & FLOW DIRECTION	EX. 10" S	10" S
SANITARY SEWER FORCE MAIN, SIZE & FLOW DIRECTION	EX. 10" F.M.	12" F.M.
SANITARY SEWER MANHOLE (S.M.H.)	10"	12"
SANITARY SEWER CLEANOUT	EX. 10" W	12" W
WATER MAIN & SIZE	EX. 10" W	12" W
FIRE HYDRANT	F.H.	F.H.
WATER VALVE (W.V.) OR METER (W.M.)	W.M.	W.V.
STORM DRAIN MANHOLE (S.D.M.H.)	18"	18"
STORM DRAIN LINE (CMP OR RCP)	18"	18"
CATCH BASIN	18"	18"
UTILITY POLE W/ OVERHEAD SERVICE (TELEPHONE OR ELECTRIC OR BOTH)	U.E.	U.E.
UNDERGROUND ELECTRIC	U.T.	U.T.
UNDERGROUND TELEPHONE	EX. 2" G	2" G
UNDERGROUND GAS MAIN	N/A	N/A
PAVEMENT TO BE REMOVED	N/A	N/A
CONCRETE CURB & GUTTER	N/A	N/A
CONCRETE SIDEWALK, SLAB / PAVING	N/A	N/A
IMPERVIOUS SURFACED ROAD, DRIVE OR LOT	N/A	N/A
INDIVIDUAL TREE OR BUSH	N/A	N/A
WIRE FENCE	N/A	N/A
CHAINLINK FENCE	N/A	N/A
STOCKADE FENCE	N/A	N/A
STRUCTURE (CONCRETE, WOOD, METAL, ETC.)	N/A	N/A
DRAINAGE DITCH OR SWALE	N/A	N/A
EMBANKMENT SIDESLOPES (DOWN)	N/A	N/A
CONTOUR	N/A	N/A
ELEVATION SPOT SHOT	N/A	N/A
BENCH MARK	N/A	N/A
PROPERTY OR RIGHT-OF-WAY LINE	N/A	N/A
CENTERLINE	N/A	N/A
LIGHT POLE	N/A	N/A
FLOOD PLAN	N/A	N/A

**ENGINEERS CERTIFICATION**

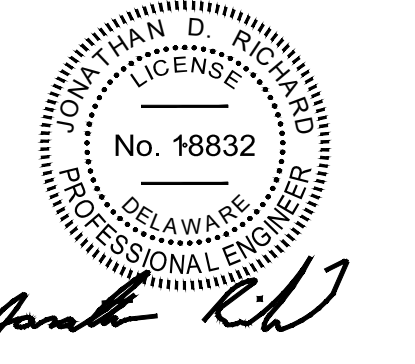
I, JONATHAN D. RICHARD, HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE CURRENT AS OF THE DATE BELOW ZONING ORDINANCE AND DEVELOPMENT ORDINANCE OF THE CITY OF SEAFORD.

*Jonathan D. Richard*  
No. 18832  
P.E. NO. 18832 DATE 02-03-2023

**OWNERS CERTIFICATION**

WE, KRM DEVELOPMENT CORPORATION, HEREBY CERTIFY THAT THIS SITE PLAN WAS PREPARED AT OUR DIRECTION AND THAT WE WILL CONSTRUCT THE IMPROVEMENTS AS SHOWN ON THESE PLANS.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_



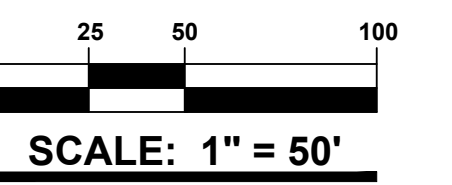
PROJECT TITLE

**WESTERN  
SUSSEX  
BUSINESS  
CAMPUS**

CITY OF SEAFORD  
SUSSEX COUNTY, DE

SHEET TITLE

**EXISTING  
CONDITIONS &  
DEMOLITION PLAN**



ISSUE BLOCK

NO.	DATE	DESCRIPTION
6.	02-03-23	REVISED PER DNREC COMMENTS ISSUED ON 02-01-2023
5.	12-16-22	REVISED PER SCD COMMENTS ISSUED ON 12-07-2022
4.	11-30-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 11-18-2022
3.	11-15-22	REVISED PER CITY OF SEAFORD COMMENTS ISSUED ON 10-11-2022
2.	10-10-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 09-22-2022
1.	10-07-22	REVISED PER SCD COMMENTS ISSUED ON 10-03-2022

MARK DATE DESCRIPTION

LAYER/STATE: C-101

PROJECT NO.: 2021150.00

DATE: 09-12-2022

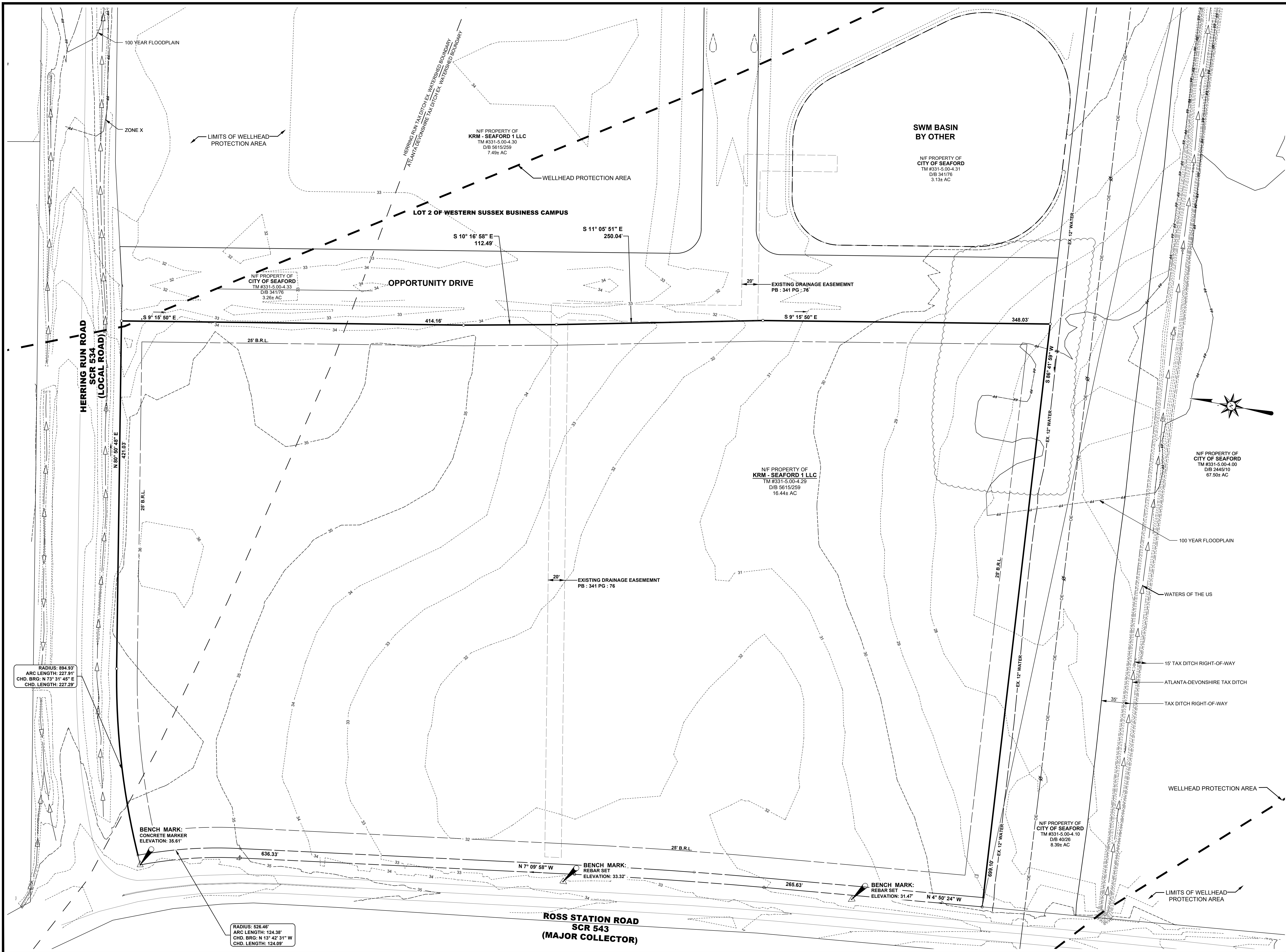
SCALE: 1" = 50'

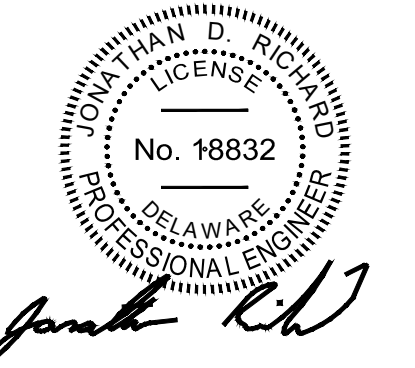
DRAWN BY: A.C.F. PROJ. MGR.: J.D.R.

SHEET

**C-101**

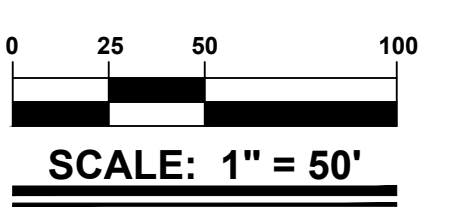
COPYRIGHT: 2021





PROJECT TITLE  
**WESTERN SUSSEX BUSINESS CAMPUS**  
CITY OF SEAFORD  
SUSSEX COUNTY, DE

SHEET TITLE  
**SITE, SIGNAGE & STRIPING PLAN**

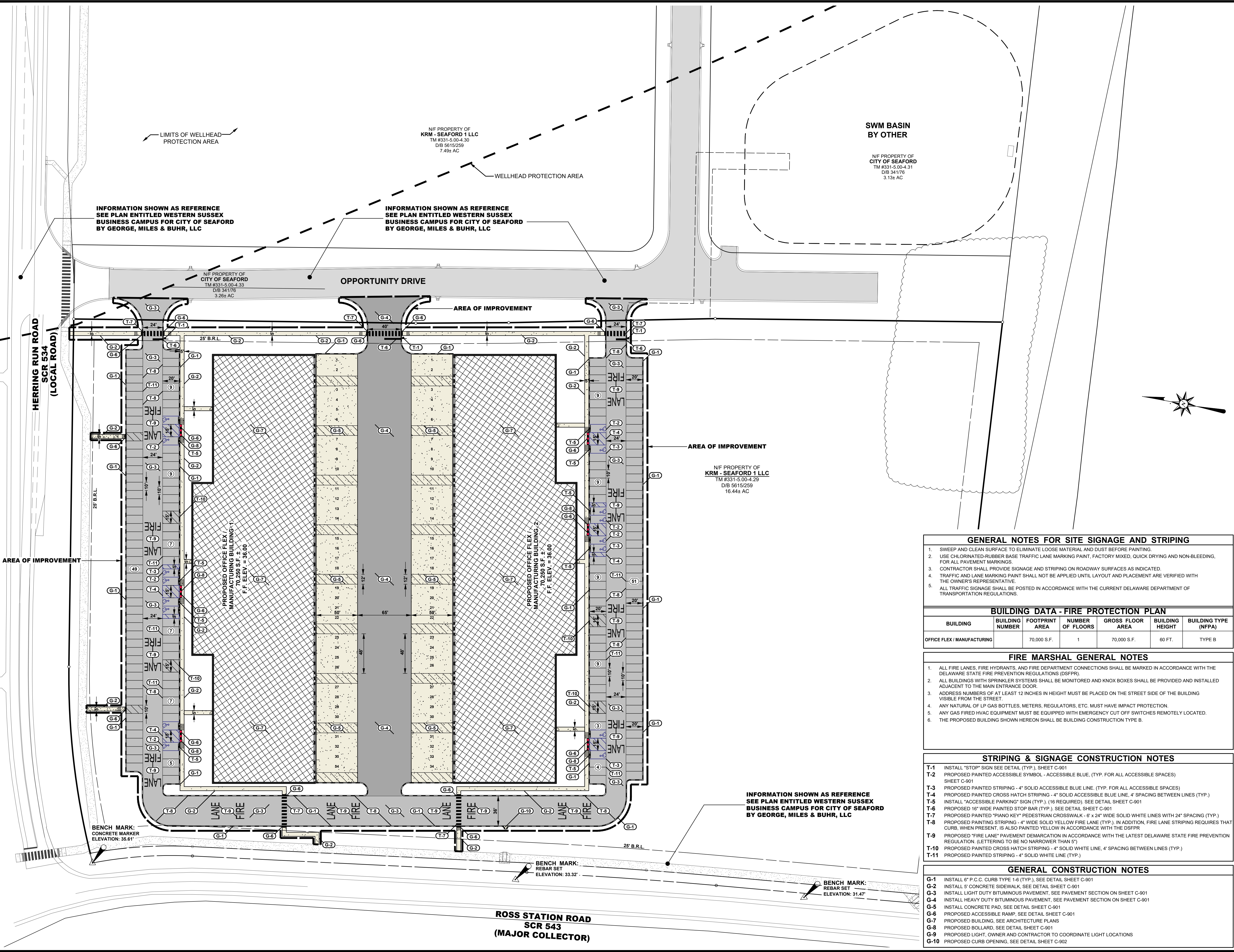
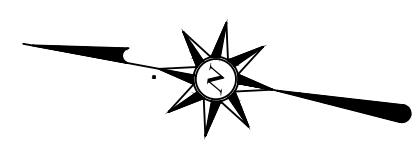


ISSUE BLOCK	NO.	DATE	DESCRIPTION
	6.	02-03-23	REVISED PER DNREC COMMENTS ISSUED ON 02-01-2023
	5.	12-16-22	REVISED PER RCD COMMENTS ISSUED ON 12-07-2022
	4.	11-30-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 11-18-2022
	3.	11-15-22	REVISED PER CITY OF SEAFORD COMMENTS ISSUED ON 10-11-2022
	2.	10-10-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 09-22-2022
	1.	10-07-22	REVISED PER RCD COMMENTS ISSUED ON 10-03-2022

MARK DATE DESCRIPTION  
LAYER/STATE: C-201  
**PROJECT NO.:** 2021150.00  
**DATE:** 09-12-2022  
**SCALE:** 1" = 50'  
DRAWN BY: A.C.F. / PROJ. MGR.: J.D.R.  
SHEET

**C-201**

COPYRIGHT: 2021



**GENERAL NOTES FOR SITE SIGNAGE AND STRIPING**

- SWEEP AND CLEAN SURFACE TO ELIMINATE LOOSE MATERIAL AND DUST BEFORE PAINTING.
- USE CHLORINATED-RUBBER BASE TRAFFIC LANE MARKING PAINT, FACTORY MIXED, QUICK DRYING AND NON-BLEEDING. FOR ALL PAVEMENT MARKINGS.
- CONTRACTOR SHALL PROVIDE SIGNAGE AND STRIPING ON ROADWAY SURFACES AS INDICATED.
- TRAFFIC AND LANE MARKING PAINT SHALL NOT BE APPLIED UNTIL LAYOUT AND PLACEMENT ARE VERIFIED WITH THE OWNER'S REPRESENTATIVE.
- ALL TRAFFIC SIGNAGE SHALL BE POSTED IN ACCORDANCE WITH THE CURRENT DELAWARE DEPARTMENT OF TRANSPORTATION REGULATIONS.

**BUILDING DATA - FIRE PROTECTION PLAN**

BUILDING	BUILDING NUMBER	FOOTPRINT AREA	NUMBER OF FLOORS	GROSS FLOOR AREA	BUILDING HEIGHT	BUILDING TYPE (NFPA)
OFFICE FLEX / MANUFACTURING		70,000 S.F.	1	70,000 S.F.	60 FT.	TYPE B

**FIRE MARSHAL GENERAL NOTES**

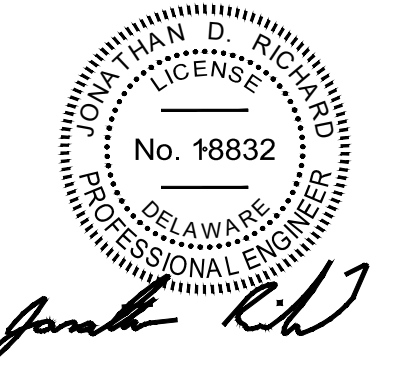
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS (DSFPR).
- ALL BUILDINGS WITH SPRINKLER SYSTEMS SHALL BE MONITORED AND KNOX BOXES SHALL BE PROVIDED AND INSTALLED ADJACENT TO THE MAIN ENTRANCE DOOR.
- ADDRESS NUMBERS OF AT LEAST 12 INCHES IN HEIGHT MUST BE PLACED ON THE STREET SIDE OF THE BUILDING VISIBLE FROM THE STREET.
- ANY NATURAL OF LP GAS BOTTLES, METERS, REGULATORS, ETC. MUST HAVE IMPACT PROTECTION.
- ANY GAS FIRED HVAC EQUIPMENT MUST BE EQUIPPED WITH EMERGENCY CUT OFF SWITCHES REMOTELY LOCATED.
- THE PROPOSED BUILDING SHOWN HEREON SHALL BE BUILDING CONSTRUCTION TYPE B.

**STRIPING & SIGNAGE CONSTRUCTION NOTES**

T-1 INSTALL "STOP" SIGN SEE DETAIL (TYP.), SHEET C-901  
T-2 PROPOSED PAINTED ACCESSIBLE SYMBOL - ACCESSIBLE BLUE, (TYP. FOR ALL ACCESSIBLE SPACES) SHEET C-901  
T-3 PROPOSED PAINTED STRIPING - 4" SOLID ACCESSIBLE BLUE LINE, (TYP. FOR ALL ACCESSIBLE SPACES)  
T-4 PROPOSED PAINTED CROSS HATCH STRIPING - 4" SOLID ACCESSIBLE BLUE LINE, 4" SPACING BETWEEN LINES (TYP.)  
T-5 INSTALL "ACCESSIBLE PARKING" SIGN (TYP.) (16" REQUIRED). SEE DETAIL SHEET C-901  
T-6 PROPOSED 18" WIDE PAINTED STOP BAR (TYP.). SEE DETAIL SHEET C-901  
T-7 PROPOSED PAINTED "PIANO KEY" PEDESTRIAN CROSSWALK - 6" x 24" WIDE SOLID WHITE LINES WITH 24" SPACING (TYP.)  
T-8 PROPOSED PAINTING STRIPING - 4" WIDE SOLID YELLOW FIRE LANE (TYP.). IN ADDITION, FIRE LANE STRIPING REQUIRES THAT CURB, WHEN PRESENT, IS ALSO PAINTED YELLOW IN ACCORDANCE WITH THE DSFPR  
T-9 PROPOSED "FIRE LANE" PAVEMENT DEMARCATION IN ACCORDANCE WITH THE LATEST DELAWARE STATE FIRE PREVENTION REGULATION. (LETTERING TO BE NO NARROWER THAN 5")  
T-10 PROPOSED PAINTED CROSS HATCH STRIPING - 4" SOLID WHITE LINE, 4" SPACING BETWEEN LINES (TYP.)  
T-11 PROPOSED PAINTED STRIPING - 4" SOLID WHITE LINE (TYP.)

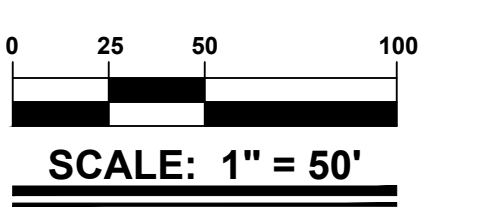
**GENERAL CONSTRUCTION NOTES**

G-1 INSTALL 6" P.C.C. CURB TYPE 1+0 (TYP.). SEE DETAIL SHEET C-901  
G-2 INSTALL 5" CONCRETE SIDEWALK, SEE DETAIL SHEET C-901  
G-3 INSTALL LIGHT DUTY BITUMINOUS PAVEMENT, SEE PAVEMENT SECTION ON SHEET C-901  
G-4 INSTALL HEAVY DUTY BITUMINOUS PAVEMENT, SEE PAVEMENT SECTION ON SHEET C-901  
G-5 INSTALL CONCRETE PAD, SEE DETAIL SHEET C-901  
G-6 PROPOSED ACCESSIBLE RAMP, SEE DETAIL SHEET C-901  
G-7 PROPOSED BUILDING, SEE ARCHITECTURE PLANS  
G-8 PROPOSED BOLLARD, SEE DETAIL SHEET C-901  
G-9 PROPOSED LIGHT, OWNER AND CONTRACTOR TO COORDINATE LIGHT LOCATIONS  
G-10 PROPOSED CURB OPENING, SEE DETAIL SHEET C-902



PROJECT TITLE  
**WESTERN SUSSEX BUSINESS CAMPUS**  
CITY OF SEAFORD  
SUSSEX COUNTY, DE

SHEET TITLE  
**UTILITY PLAN**



ISSUE BLOCK	DATE	DESCRIPTION
6.	02-03-23	REVISED PER DNREC COMMENTS ISSUED ON 02-01-2023
5.	12-16-22	REVISED PER RCD COMMENTS ISSUED ON 12-07-2022
4.	11-30-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 11-18-2022
3.	11-15-22	REVISED PER CITY OF SEAFORD COMMENTS ISSUED ON 10-11-2022
2.	10-10-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 09-22-2022
1.	10-07-22	REVISED PER RCD COMMENTS ISSUED ON 10-03-2022

MARK DATE DESCRIPTION  
LAYER/STATE: C-301

PROJECT NO.: 2021150.00  
DATE: 09-12-2022  
SCALE: 1" = 50'  
DRAWN BY: A.C.F. PROJ. MGR.: J.D.R.  
SHEET  
**C-301**  
COPYRIGHT: 2021

**DOMESTIC WATER SYSTEM CONSTRUCTION NOTES**

W-1 CONNECT PROPOSED WATER MAIN TO EXISTING WATER MAIN AT LOCATION SHOWN.  
W-2 PROPOSED 8" WATER MAIN (42" MIN. COVER)  
W-3 PROPOSED 8" WATER MAIN (42" MIN. COVER)  
W-4 INSTALL FIRE DEPARTMENT CONNECTION AT LOCATION SHOWN. INSTALL "FIRE DEPARTMENT CONNECTION" SIGN PER DELAWARE STATE FIRE PREVENTION REGULATIONS. FDC TO MATCH LOCAL FIRE DEPARTMENT REQUIREMENTS. SEE SIGN DETAIL, SHEET C-901.  
W-5 PROPOSED 4" DOMESTIC WATER SERVICE  
W-6 PROPOSED 6" FIRE LINE  
W-7 PROPOSED FIRE HYDRANT AT LOCATION SHOWN. INSTALL HYDRANT PER CITY OF SEAFORD DESIGN STANDARDS.  
W-8 PROPOSED 8"x8" TEE.  
W-9 PROPOSED 8"x6" REDUCER.  
W-10 PROPOSED WATER METER. INSTALL PER CITY OF SEAFORD DESIGN STANDARDS.  
W-11 DEPRESS WATER MAIN TO MAINTAIN 12" OF SEPARATION BETWEEN WATER MAIN AND PROPOSED STORM DRAIN.  
W-12 DEPRESS WATER MAIN TO MAINTAIN 18" OF SEPARATION BETWEEN WATER MAIN AND PROPOSED SEWER LATERAL.  
W-13 PROVIDE BACKFLOW PREVENTION AT LOCATIONS SHOWN. BACKFLOW SHALL BE PROVIDED PER CITY OF SEAFORD DESIGN STANDARDS.

NOTE: 1. OWNER TO MAINTAIN ALL MAINTENANCE OF WATER MAIN AND FIRE HYDRANTS ON SITE.  
2. ALL EXISTING WATER INVERTS TO BE MAINTAINED PER APPROVED GMB PLAN.

**STORM SEWER CONSTRUCTION NOTES**

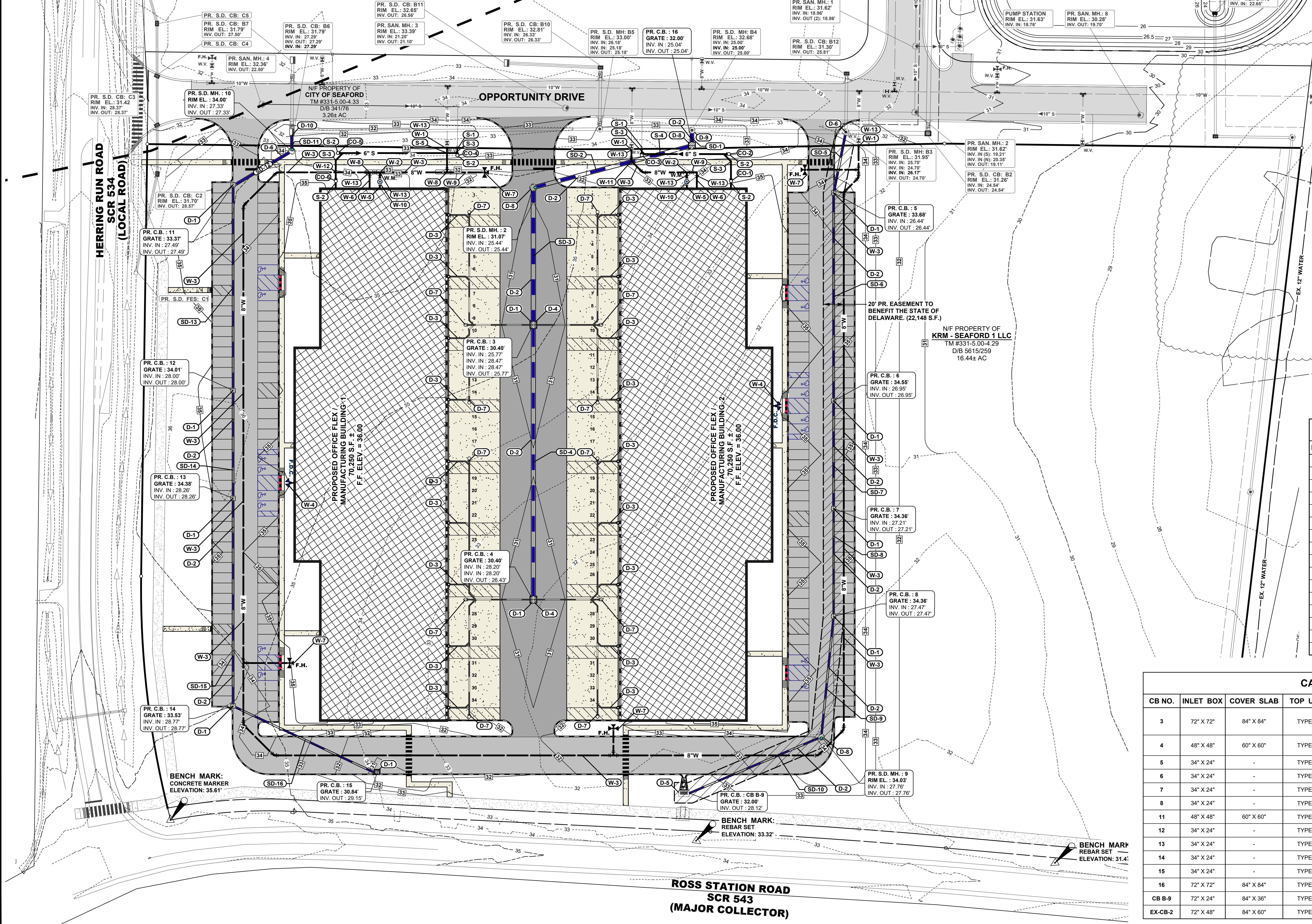
D-1 PROPOSED STORM DRAIN CATCH BASIN. SEE CATCH BASIN SCHEDULE FOR TYPE, SIZE AND TOP UNIT AND INVERTS ON THIS SHEET.  
D-2 PROPOSED STORM DRAIN PIPE (TYP.) SEE PIPE SCHEDULE FOR PIPE SIZES AND INVERTS ON THIS SHEET.  
D-3 INSTALL ADS-N12 ROOF LATERAL AND CONNECT DOWNSPOUT WITH MATERIAL ADAPTOR. (1% SLOPE MIN.) (2" MIN. DEPTH).  
D-4 CONTRACTOR TO CONNECT ROOF LATERAL INTO STRUCTURE AT LOCATION SHOWN. STRUCTURE CONNECTION SHOULD UTILIZE WATER TIGHT Z-LOCK GASKETED TYPE FITTINGS MANUFACTURED IN THE STRUCTURE AHEAD OF TIME.  
D-5 EXISTING CATCH BASIN PROPOSED BY OTHERS. CONTRACTOR TO INSTALL PROPOSED BASIN AT ELEV. 32.00' AND STORM PIPE INTO CATCH BASIN AT INV. 28.12'.  
D-6 EXISTING MANHOLE PROPOSED BY OTHERS. CONTRACTOR TO INSTALL PROPOSED STORM PIPE INTO MANHOLE AT INV. 26.17'.  
D-7 PROPOSED TERMINAL CLEANOUT.  
D-8 PROPOSED STORM DRAIN MANHOLE. SEE MANHOLE SCHEDULE FOR TYPE, SIZE AND TOP UNIT AND INVERTS ON THIS SHEET.  
D-9 EXISTING MANHOLE PROPOSED BY OTHERS. CONTRACTOR TO INSTALL PROPOSED STORM PIPE INTO MANHOLE AT INV. 25.00'.  
D-10 EXISTING CATCH BASIN PROPOSED BY OTHERS. CONTRACTOR TO INSTALL PROPOSED STORM PIPE INTO CATCH BASIN AT INV. 27.29'.

NOTE: ALL EXISTING STORM SEWER INVERTS TO BE MAINTAINED PER APPROVED GMB PLAN.

**SANITARY SEWER CONSTRUCTION NOTES**

S-1 CONTRACTOR TO CONNECT PROPOSED 6" SANITARY SEWER LATERAL TO EXISTING CLEANOUT AT LOCATION SHOWN.  
S-2 PROPOSED SANITARY SEWER CLEANOUT (TYP.).  
S-3 PROPOSED 6" SANITARY SEWER WYE CONNECTION.  
S-4 SEWER LATERAL TO MAINTAIN 18" SEPARATION BETWEEN SEWER LATERAL AND STORM DRAIN.

NOTE: 1. CONTRACTOR TO FIELD VERIFY DEPTH OF SEWER LATERAL BEFORE STARTING ANY IMPROVEMENTS.  
2. ALL EXISTING SANITARY SEWER INVERTS TO BE MAINTAINED PER APPROVED GMB PLAN.



**CLEANOUT SCHEDULE**

CLEANOUT SCHEDULE	INVERT ELEVATION	RIM ELEVATION
CO-1	22.46'	34.95'
CO-2	22.16'	33.90'
CO-3	21.14'	32.98'
CO-4	22.00'	32.95'
CO-5	23.18'	33.20'
CO-6	23.48'	34.90'

**STORM DRAIN MANHOLE SCHEDULE**

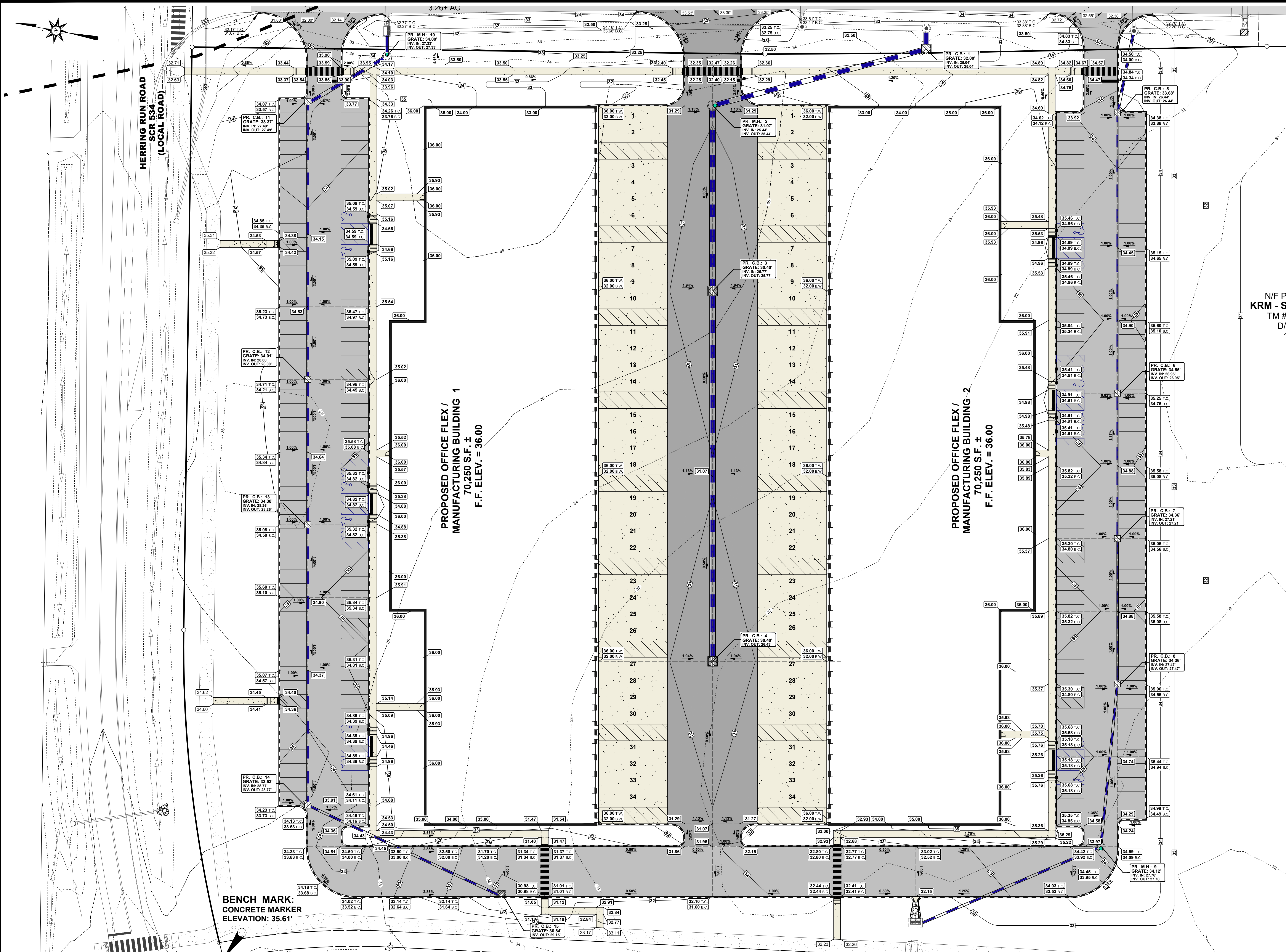
MH NO.	RIM EL.	DIA.	DEPTH	INV. IN	INV. OUT
2	31.07'	60"	5.63'	25.44' (SD-3)	25.44' (SD-2)
9	34.03'	48"	6.27'	27.76' (SD-10)	27.76' (SD-9)
10	34.00'	48"	6.68'	27.33' (SD-12)	27.33' (SD-11)

**STORM DRAIN PIPE SCHEDULE**

PIPE NO.	SIZE	PIPE TYPE	LENGTH	SLOPE	INV. IN	INV. OUT
SD-1	36"	RCP	15'	0.27%	25.04'	25.00'
SD-2	36"	RCP	160'	0.25%	25.44'	25.04'
SD-3	45" x 29"	ERCP	134'	0.25%	25.77'	25.44'
SD-4	38" x 24"	ERCP	268'	0.25%	26.43'	25.77'
SD-5	18"	RCP	60'	0.45%	26.44'	26.17'
SD-6	18"	RCP	202'	0.25%	26.95'	26.44'
SD-7	18"	RCP	105'	0.25%	27.21'	26.95'
SD-8	15"	RCP	105'	0.25%	27.47'	27.21'
SD-9	15"	RCP	118'	0.25%	27.76'	27.47'
SD-10	15"	RCP	140'	0.25%	28.12'	27.76'
SD-11	24"	RCP	15'	0.25%	27.33'	27.29'
SD-12	24"	RCP	64'	0.25%	27.49'	27.33'
SD-13	18"	RCP	200'	0.25%	28.00'	27.49'
SD-14	18"	RCP	105'	0.25%	28.26'	28.00'
SD-15	18"	RCP	202'	0.25%	28.77'	28.26'
SD-16	15"	RCP	155'	0.25%	29.15'	28.77'

**CATCH BASIN SCHEDULE**

CB NO.	INLET BOX	COVER SLAB	TOP UNIT	TEMP. REBAR	FRAME/GRATE	GRATE EL.	INV. IN	INV. OUT
3	72" X 72"	84" X 84"	TYPE A	NO	TYPE 1	30.40'	25.77' (SD-4) 28.47' (S5) 28.47' (S6)	25.77' (SD-3)
4	48" X 48"	60" X 60"	TYPE A	NO	TYPE 1	30.40'	28.20' (S3) 28.20' (S4)	26.43' (SD-4)
5	34" X 24"	-	TYPE A	NO	TYPE 1	33.68'	26.44' (SD-6)	26.44' (SD-5)
6	34" X 24"	-	TYPE A	NO	TYPE 1	34.55'	26.95' (SD-7)	26.95' (SD-6)
7	34" X 24"	-	TYPE A	NO	TYPE 1	34.36'	27.21' (SD-8)	27.21' (SD-7)
8	34" X 24"	-	TYPE A	NO	TYPE 1	34.36'	27.47' (SD-9)	27.47' (SD-8)
11	48" X 48"	60" X 60"	TYPE A	NO	TYPE 1	33.37'	27.49' (SD-13)	27.49' (SD-12)
12	34" X 24"	-	TYPE A	NO	TYPE 1	34.01'	28.00' (SD-14)	28.00' (SD-13)
13	34" X 24"	-	TYPE A	NO	TYPE 1	34.38'	28.26' (SD-15)	28.26' (SD-14)
14	34" X 24"	-	TYPE A	NO	TYPE 1	33.53'	28.77' (SD-16)	28.77' (SD-15)
15	34" X 24"	-	TYPE A	NO	TYPE 1	30.84'	-	29.15' (SD-16)
16	72" X 72"	84" X 84"	TYPE A	NO	TYPE 1	32.00'	25.04' (SD-2)	25.04' (SD-1)
CB-B-9	72" X 24"	84" X 36"	TYPE A	NO	TYPE 1	32.00'	-	28.12' (SD-10)
EX-CB-2	72" X 48"	84" X 60"	TYPE A	EXISTING CB	TYPE 1	32.00'	27.29' (SD-11)	-



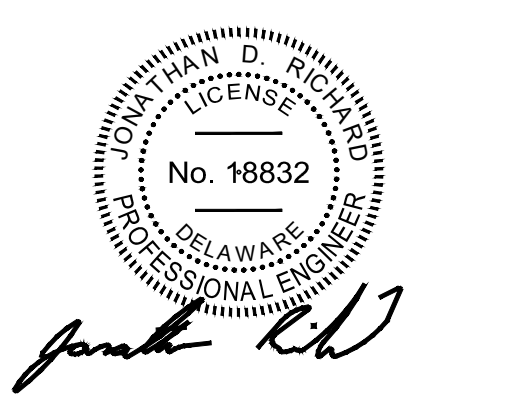
**BECKER MORGAN GROUP**

ARCHITECTURE  
ENGINEERING  
Delaware  
309 South Governors Avenue  
Dover, DE 19904  
302.734.7950  
The Tower at STAR Campus  
100 Discovery Boulevard, Suite 102  
Newark, DE 19713  
302.369.3700

Maryland  
312 West Main Street, Suite 300  
Salisbury, MD 21801  
410.546.9100

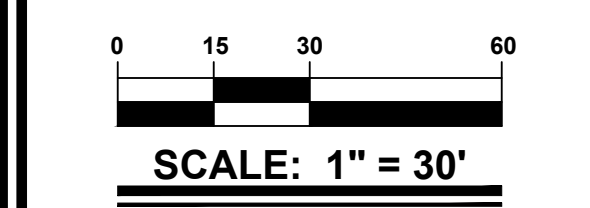
North Carolina  
3333 Jaeckle Drive, Suite 120  
Wilmington, NC 28403  
910.341.7600

www.beckermorgan.com



PROJECT TITLE  
**WESTERN SUSSEX BUSINESS CAMPUS**  
CITY OF SEAFORD  
SUSSEX COUNTY, DE

SHEET TITLE  
**GRADING PLAN**



ISSUE BLOCK	DATE	DESCRIPTION
6.	02-03-23	REVISED PER DNREC COMMENTS ISSUED ON 02-01-2023
5.	12-16-22	REVISED PER RCD COMMENTS ISSUED ON 12-07-2022
4.	11-30-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 11-18-2022
3.	11-15-22	REVISED PER CITY OF SEAFORD COMMENTS ISSUED ON 09-22-2022
2.	10-10-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 09-22-2022
1.	10-07-22	REVISED PER RCD COMMENTS ISSUED ON 10-03-2022

PROJECT NO.: 2021150.00  
DATE: 09-12-2022  
SCALE: 1" = 30'  
DRAWN BY: A.C.F. / PROJ. MGR.: J.D.R.

SHEET  
**C-401**  
COPYRIGHT 2021

N/F P/F  
KRM - SI  
TM #:  
D/E  
11

**BENCH MARK:  
CONCRETE MARKER  
ELEVATION: 35.61'**

# WESTERN SUSSEX BUSINESS CAMPUS

## SEDIMENT AND STORMWATER MANAGEMENT PLANS

### NANTICOKE RIVER WATERSHED

#### CITY OF SEAFORD

#### SUSSEX COUNTY, DE

### 331-5.00-4.29

SITE DATA	
1. OWNER OF RECORD:	KRM - SEAFORD 1 LLC 205 CANNON STREET CHESTERTOWN, MD 21620 JPARKS@KRM-DEV.COM 410-810-1574
2. ENGINEER / SURVEYOR:	BECKER MORGAN GROUP INC. 309 S. GOVERNORS AVENUE DOVER, DE 19904 JRICHARD@BECKERMORGAN.COM 302-734-7950
3. PROPERTY MAP NUMBER:	331-5.00-4.29
4. ZONING CLASSIFICATION:	EXISTING: M-1 - LIGHT INDUSTRIAL PROPOSED: M-1 - LIGHT INDUSTRIAL
5. DEED SUMMARY:	9615 - 299
6. PLAT REFERENCE:	341 - 76
7. PRESENT USE:	VACANT LAND
8. PROPOSED USE:	OFFICE FLEX / MANUFACTURING
9. TOTAL SITE AREA:	16.44 ACRES
10. PROPOSED BUILDING:	BUILDING: 2 BUILDINGS - 70,000 S.F. = 140,000 S.F.
11. IMPERVIOUS COVERAGE:	EXISTING: 0 S.F. (0 ACRES) PROPOSED: 338,446 S.F. (7.79 ACRES)
12. PARKING CALCULATIONS:	1 SPACE FOR EVERY 1000 S.F. OF GFA 140,000 S.F. / 1,000 S.F. = 140 PARKING SPACES PROVIDED: 192 PARKING SPACES PROVIDED HANDICAP PARKING SPACES: 16 LOADING BERTHS: 1 SPACE FOR AND COMMERCIAL OR INDUSTRIAL OVER 3,500 S.F. PROVIDED: 27
13. SETBACKS:	M-1 - LIGHT INDUSTRIAL FRONT: 25 FT. SIDE: 25 FT. REAR: 15 FT.
14. LOT SIZE:	2 AC. MIN.
15. LANDSCAPE REQUIREMENT:	1 SPACE FOR EVERY 1000 S.F. OF GFA 210,000 S.F. / 1,000 S.F. = 210 PARKING SPACES 276 PARKING SPACES PROVIDED
16. SIGNAGE:	FUTURE PERMIT SUBMISSION
17. LOT COVERAGE:	PERMITTED: 50% 716,126.40 S.F. / 2 = 358,063.20 S.F. PROPOSED: 20% 140,000 S.F. / 716,126.40 S.F. = 20%
18. PAVED AREA COVERAGE:	PERMITTED: 30% 716,126.40 S.F. * 0.30 = 214,938 S.F. PROPOSED: 28% 201,246 S.F. / 716,126.40 S.F. = 28%
19. BUILDING HEIGHT:	PERMITTED: 60' PROPOSED: 60'
20. SOURCE OF WATER:	CITY OF SEAFORD
21. SOURCE OF SEWER:	CITY OF SEAFORD
22. SOURCE OF GAS:	CHESAPEAKE UTILITIES
23. SOURCE OF ELECTRIC:	CITY OF SEAFORD
24. TOTAL WETLAND AREA:	0.00 AC.

SHEET INDEX	
SHEET NO.:	TITLE:
C-500	COVER SHEET & GENERAL NOTES
C-501	PRE-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
C-502	CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
C-503 - C-505	EROSION AND SEDIMENT CONTROL DETAIL SHEET

#### SEDIMENT AND STORMWATER CONSTRUCTION NOTES:

- THE SUSSEX CONSERVATION DISTRICT (SCD) SHALL BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- REVIEW AND OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY SCD / DNREC.
- FOLLOWING SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN FOURTEEN (14) CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHOULD BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- APPROVED PLANS REMAIN VALID FOR 5 YEARS FROM THE DATE OF APPROVAL.
- POST CONSTRUCTION VERIFICATION DOCUMENTS SHALL BE SUBMITTED TO THE SUSSEX CONSERVATION DISTRICT SEDIMENT AND STORMWATER PROGRAM WITHIN 60-DAYS OF STORMWATER MANAGEMENT FACILITY COMPLETION.
- APPROVAL OF A SEDIMENT AND STORMWATER MANAGEMENT PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORM WATER RUNOFF. THE OWNER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRINKING AND OTHER APPLICABLE LAWS.
- THE NOTICE OF INTENT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER A NPDES GENERAL PERMIT FOR THIS PROJECT IS #6884. AT ANY TIME THE OWNERSHIP FOR THIS PROJECT CHANGES, A TRANSFER OF AUTHORIZATION OR A CO-PERMITTEE APPLICATION MUST BE SUBMITTED TO DNREC. THE PERMITTEE OF RECORD SHALL NOT BE RELIEVED OF THEIR RESPONSIBILITY UNTIL A NOTICE OF TERMINATION HAS BEEN PROCESSED BY DNREC.
- THE OWNER SHALL BE FAMILIAR WITH AND COMPLY WITH ALL ASPECTS OF THE NPDES CONSTRUCTION GENERAL PERMIT ASSOCIATED WITH THE PROJECT, INCLUDING BUT NOT LIMITED TO, PERFORMING WEEKLY SITE INSPECTIONS DURING CONSTRUCTION AND AFTER RAIN EVENTS, AND MAINTAINING WRITTEN LOGS OF THESE INSPECTIONS.
- THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE THE CONTRACTOR SHOULD CALL MISS UTILITY AT 811 OR 1-800-282-8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITY MARKED ONSITE.
- BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7 DEL. C. CHAPTER 93 DELAWARE CONSTRUCTION PERMIT (CCP).
- DOCUMENTATION OF SOIL TESTING AND MATERIALS USED FOR TEMPORARY OR PERMANENT STABILIZATION INCLUDING BUT NOT LIMITED TO SOIL TEST RESULTS, SEED TAGS, SOIL AMENDMENT TAGS, ETC. SHALL BE PROVIDED TO THE SUSSEX CONSERVATION DISTRICT / DNREC TO VERIFY THAT THE PERMANENT OR TEMPORARY STABILIZATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN.
- THE SUSSEX CONSERVATION DISTRICT / DNREC MAY REQUIRE ADDITIONAL SOIL TESTING AND REAPPLICATION OF PERMANENT OR TEMPORARY STABILIZATION IN ACCORDANCE WITH SPECIFICATIONS IN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, OR ALTERNATIVE MEASURES THAT PROVIDE FUNCTIONAL EQUIVALENCE.
- WHEN DIRECTED BY THE SUSSEX CONSERVATION DISTRICT / DNREC, THE OWNER SHALL ACQUIRE THE SERVICES OF A THIRD PARTY CERTIFIED CONSTRUCTION REVIEWER (CCR) TO PERFORM WEEKLY CONSTRUCTION REVIEWS, SEDIMENT AND STORMWATER MANAGEMENT PLANS APPROVED BY THE DEPARTMENT SHALL HAVE A THIRD PARTY CCR.
- THE SUSSEX CONSERVATION DISTRICT / DNREC RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR PURPOSES OF PERIODIC SITE INSPECTIONS.
- PERIODIC MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES IS REQUIRED TO INSURE EFFECTIVE SEDIMENT CONTROL. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MADE AT LEAST WEEKLY AND AFTER EACH RAINFALL EVENT. REPAIRS SHALL BE MADE WITHIN 24 HOURS OF THE RAIN EVENT OR WHEN OTHERWISE IDENTIFIED.
- THE SEQUENCE OF CONSTRUCTION ON THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN MUST BE STRICTLY ADHERED TO. ANY DIVERGENCE FROM THE APPROVED CONSTRUCTION SEQUENCE REQUIRES A WRITTEN REQUEST TO MODIFY AND THE WRITTEN APPROVAL OF SCD / DNREC.
- A COPY OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLANS MUST BE MAINTAINED ON-SITE AT ALL TIMES DURING CONSTRUCTION.
- TO PREVENT OR REDUCE THE MOVEMENT OF DUST FROM DISTURBED SOIL SURFACES THE SITE SHALL BE SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST AND REPEATED AS NECESSARY. ALTERNATIVE METHODS OF DUST CONTROL REQUIRE APPROVAL FROM SCD.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AND REPAIR ALL EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT PRACTICES DURING UTILITY INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROL MEASURES DURING CONSTRUCTION.
- ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS BY A STABILIZED CONSTRUCTION ENTRANCE.
- A PRE-CONSTRUCTION MEETING MUST TAKE PLACE BEFORE ANY EARTH DISTURBING ACTIVITY BEGINS. THE MEETING MUST BE ATTENDED BY AN OWNER'S REPRESENTATIVE, CONTRACTOR, CCR (IF REQUIRED FOR THE SITE), AND DNREC / INSPECTOR.
- SOIL STOCKPILE AREAS MUST BE DELINEATED. LOCATE STOCKPILES ON AREAS WITH LITTLE OR NO SLOPE. STOCKPILES MUST BE SURROUNDED WITH SILT FENCE OR A STABILIZED EARTHEN BERM. STOCKPILE AREAS MUST BE SEEDED WITH TEMPORARY SEEDING MIXTURE AND MULCHED.
- SCD / DNREC RESERVES THE RIGHT TO WITHHOLD PERMITS AND LETTERS OF NO OBJECTION RELATED TO OBTAINING CERTIFICATES OF OCCUPANCY FROM THE LOCAL JURISDICTION FOR NON COMPLIANCE WITH THE PLANS AND SPECIFICATIONS FOR STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL.
- SCD / DNREC RESERVES THE RIGHT TO ADD, DELETE, MODIFY OR OTHERWISE ALTER THE SEDIMENT CONTROL PROVISIONS OF THIS PLAN IN THE EVENT ADDITIONAL PROTECTION BECOMES NECESSARY.
- EROSION AND SEDIMENT CONTROL WILL BE STRICTLY ENFORCED.
- SEDIMENT CONTROL FOR UTILITY CONSTRUCTION IN AREAS OUTSIDE OF DESIGNED CONTROLS:
  - EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH.
  - IMMEDIATELY FOLLOWING PIPE INSTALLATION THE TRENCH SHALL BE BACK FILLED, COMPACTED AND STABILIZED.
  - TEMPORARY SILT FENCE OR STRAW BALE DIKES SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED LONGER THAN ONE WORKING DAY.
- EROSION CONTROL MATTING IS REQUIRED ON SLOPES OF 3:1 OR GREATER IN AREAS OF CONCENTRATED FLOW. MATTING TYPE IS TO BE BIO-DEGRAD NORTH AMERICAN GREEN S-150BN (OR APPROVED EQUIVALENT).
- ALL STORMWATER MANAGEMENT FACILITIES SHALL BE PRIVATELY OWNED, OPERATED, AND MAINTAINED.

#### OPERATION & MAINTENANCE NOTES

- THE OWNER WILL BE RESPONSIBLE TO OPERATE AND MAINTAIN EACH POST CONSTRUCTION STORMWATER MANAGEMENT FACILITY.
- THE SCD SEDIMENT AND STORMWATER PROGRAM AND/OR THE DELEGATED AGENCY RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR PURPOSES OF PERIODIC SITE REVIEWS.
- THE SCD SEDIMENT AND STORMWATER PROGRAM SHOULD BE NOTIFIED WITHIN 30 BUSINESS DAYS IF THE PROPERTY OWNERSHIP IS TRANSFERRED TO A NEW PERSON OR ENTITY.
- THE SCD SEDIMENT AND STORMWATER PROGRAM AND/OR THE DELEGATED AGENCY MAY SEEK ENFORCEMENT ACTION AGAINST ANY OWNER DEEMED NEGLIGENT IN FULFILLING THE OPERATION AND MAINTENANCE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS.
- THE SCD SEDIMENT AND STORMWATER PROGRAM AND/OR THE DELEGATED SHOULD BE CONTACTED IF A CONCERN ARISES REGARDING A STORMWATER MANAGEMENT FACILITY, BEFORE ANY NON-ROUTINE MAINTENANCE, OR IF MODIFICATIONS TO THE FACILITY ARE DESIRED.
- ANY DESIGN MODIFICATIONS MADE TO THE STORMWATER SYSTEM SHALL REQUIRE THE CREATION OF A NEW POST CONSTRUCTION STORMWATER MANAGEMENT PLAN AND/OR OPERATION AND MAINTENANCE PLAN, WITH APPROVAL OF THE PLAN(S) BY THE SUSSEX CONSERVATION DISTRICT AND/OR THE DELEGATED AGENCY.
- FOR ALL STORMWATER EASEMENT AREAS AND THE MINIMUM 15FT WIDE ACCESSWAYS TO ALL STORMWATER FACILITIES AND THEIR STRUCTURAL COMPONENTS, REGULAR MOWING SHOULD BE PERFORMED TO KEEP THE GRASS 6 INCHES OR LESS; NO TREES OR SHRUBS SHOULD BE PLANTED, AND ANY FOUND GROWING SHOULD BE REMOVED, AND NO PERMANENT STRUCTURES, SUCH AS FENCES OR SHEDS, SHOULD BE LOCATED WITH THE EASEMENT OR ACCESSWAY.
- WHEN THE FACILITY IS EXCAVATED TO REMOVE ACCUMULATED SEDIMENT, THE DISPOSAL AREA SHALL BE PERMANENTLY STABILIZED SO THAT IT DOES NOT RECREATE AN EROSION PROBLEM. ANY MATERIAL TAKEN OFFSITE SHALL STILL BE USED OR DISPOSED OF IN AN APPROVED DNREC MANNER.
- BEFORE ANY EARTH WORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHOULD CALL MISS UTILITY AT 811 OR 1-800-282-8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES MARKED ONSITE.
- THE MANAGER OF MAINTENANCE AND FACILITIES AND/OR OWNER SHOULD CONTRACT FACILITY FOR THE LATEST EDITION OF THE MAINTENANCE AND OPERATION MANUAL TO SUPPLEMENT THE MAINTENANCE ITEMS MENTIONED ABOVE.
- ANY FACILITY SPECIFIC ROUTINE OR NON-ROUTINE MAINTENANCE AND/OR OPERATIONAL REQUIREMENTS NOT LISTED IN THE ABOVE MENTIONED STANDARD REQUIREMENTS FOR THE TYPE OF FACILITY, MAY INCLUDE, BUT NOT LIMITED TO ANY MOWING, SEDIMENT REMOVAL, PIPE INSPECTIONS, WATERING, RE-SEEDING/PLANTING, TRASH REMOVAL, ETC.

#### SEQUENCE OF CONSTRUCTION

TOTAL DISTURBED ACREAGE - 9.62 ACRES

- NOTIFY SCD AT (302-856-2105) AND IN WRITING AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLANS. A CONSTRUCTION REVIEW IS REQUIRED AT THE PRE-CONSTRUCTION MEETING.
- PRIOR TO ANY CLEARING, INSTALLATION OF SEDIMENT CONTROL MEASURES OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AND CONDUCTED WITH SCD, THE LANDOWNER/DEVELOPER, CONTRACTOR, GEO-TECH / SOIL SCIENTIST OF RECORD, AND THE THIRD PARTY CERTIFIED CONSTRUCTION REVIEWER (CCR). ARE REQUIRED TO BE IN ATTENDANCE AT THE PRE-CONSTRUCTION MEETING; THE DESIGNER IS RECOMMENDED TO ATTEND.
- OBTAIN ALL CITY, COUNTY, AND STATE PERMITS PRIOR TO THE START OF CONSTRUCTION.
- CLEAR AND GRUB AREAS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS, INCLUDING BUT NOT LIMITED TO: STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, AND INLET PROTECTION ON ALL EXISTING INLETS AND CULVERTS.
- INSTALL ALL PERIMETER CONTROLS AS SHOWN ON SHEETS C-501 AND C-502. ALL PERIMETER CONTROLS ARE TO BE REVIEWED BY THE DISTRICT SITE REVIEWER AND APPROVED PRIOR TO PROCEEDING WITH FURTHER SITE DISTURBANCE OR CONSTRUCTION. THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE DISTRICT SITE REVIEWER.
- CLEAR AND GRUB VEGETATED AREAS NECESSARY FOR CONSTRUCTION. INSTALL SILT FENCE AROUND PROPOSED SOIL STOCKPILE AREA.
- INSTALL UNDERGROUND UTILITIES INCLUDING ELECTRIC, TELEPHONE, CABLE, GAS, WATER, SEWER, AND STORM DRAINAGE. ABANDON/REMOVE EXISTING UTILITIES SERVICES FROM SITE. INSTALL INLET PROTECTION IN ALL CATCH BASINS PER PLAN. CONTACT UTILITY PROVIDERS, AS NECESSARY. INSTALL INLET PROTECTION ON ANY CATCH BASINS IMMEDIATELY AFTER INSTALLATION.
- NOTIFY THE PERSON RESPONSIBLE FOR STORMWATER MANAGEMENT CONSTRUCTION REVIEW AT LEAST (3) DAYS PRIOR TO THE START OF CONSTRUCTION.
- BULK GRADE SITE AREA.
- BEGIN CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
- FINAL GRADE PROPOSED PAVED AREAS.
- INSTALL CURB AND PAVEMENT STONE BASE AS SPECIFIED.
- INSTALL TYPE "B" BINDER COURSE PER PAVEMENT SECTION.
- INSTALL REMAINING SITE FEATURES (SIDEWALK, SIGNAGE, ETC.).
- FINAL GRADE, TOPSOIL AND SEED THE REMAINING AREAS OF THE SITE PER SEEDING AND STABILIZATION NOTES.
- INSTALL TYPE "C" PAVEMENT TOP COAT AND STRIPING.
- EROSION AND SEDIMENT CONTROL DEVICES CAN BE REMOVED ONLY AFTER WORK IN THE AREA HAS BEEN STABILIZED, WITH WRITTEN APPROVAL FROM SCD SITE INSPECTOR.
- THE TERMINATION OF THE CONSTRUCTION GENERAL PERMIT WILL REQUIRE SUBMISSION AND ACCEPTANCE OF THE POST CONSTRUCTION VERIFICATION DOCUMENTS, INCLUDING FINAL STABILIZATION THROUGHOUT THE SITE. ALL ELEMENTS OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN IMPLEMENTED, AND ACCEPTANCE OF THE FINAL OPERATION AND MAINTENANCE PLAN. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY INFORMATION NEEDED FOR THE PCVD.

#### STABILIZATION AND SEEDING NOTES :

- PERMANENT SEEDING :
  - SHALL BE CONDUCTED YEAR AROUND.
  - SEED BED PREPARATION : SHALL BE IN ACCORDANCE WITH DE-ESC-3.4.3, SHEET 4 OF 4.
  - SOIL AMENDMENTS : FERTILIZER AND LIME APPLICATION SHALL BE IN ACCORDANCE WITH DE-ESC-3.4.3, SHEET 4 OF 4.
  - SEEDING : APPLY PERMANENT SEEDING MIX #7. APPLY SEED UNIFORMLY WITH A BROADCAST SEEDER, DRILL, CULTIPACKER SEEDER OR HYDROSEEDER. ALL SEED WILL BE APPLIED AT THE RECOMMENDED RATE AND PLANTING DEPTH. IN ACCORDANCE WITH DE-ESC-3.4.3.
  - MULCH : IMMEDIATELY AFTER SEEDING, UNIFORMLY MULCH ENTIRE AREA WITH STRAW AT A RATE OF 2 TONS PER ACRE MINIMUM. ALL MULCHING SHALL BE DONE IN ACCORDANCE WITH DETAIL DE-ESC-3.4.5.
  - TOPSOIL : ALL AREAS TO BE PERMANENTLY SEEDED SHALL HAVE A MINIMUM OF 4" OF TOPSOIL.
- TEMPORARY STABILIZATION :
  - PROVIDE SEED BED SAME AS 1-B ABOVE.
  - APPLY MIX NO. 5 (ANNUAL RYEGRASS) IN ACCORDANCE WITH DETAIL DE-ESC-3.4.3, SHEET 1 OF 4.
  - MULCH SAME AS 1-E ABOVE.
- IF TEMPORARY STABILIZATION IS REQUIRED, PERMANENT SEEDING SHALL BE PERFORMED AS SOON AS POSSIBLE.
- ALL FILL SLOPE AREAS SHOWN ON PLAN ARE TO BE STABILIZED AS PER STATEMENT 1 OR 2 ABOVE IMMEDIATELY AFTER COMPLETION OF GRADING OPERATIONS FOR THESE SLOPES.
- EROSION CONTROL MATTING IS REQUIRED ON ALL SLOPES OF 3:1 OR GREATER AND IN AREAS OF CONCENTRATED FLOW.

#### ENGINEERS CERTIFICATION

I, JONATHAN D. RICHARD, HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF, REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

*Jonathan D. Richard*  
No. 18832  
JONATHAN D. RICHARD P.E. NO. 18832 DATE 02-03-2023

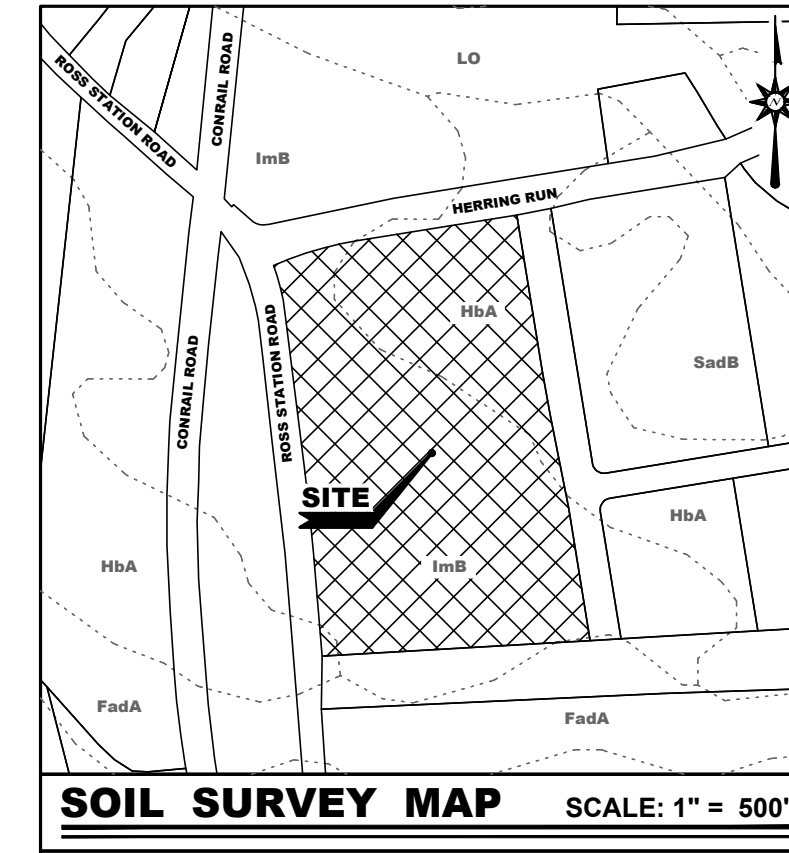
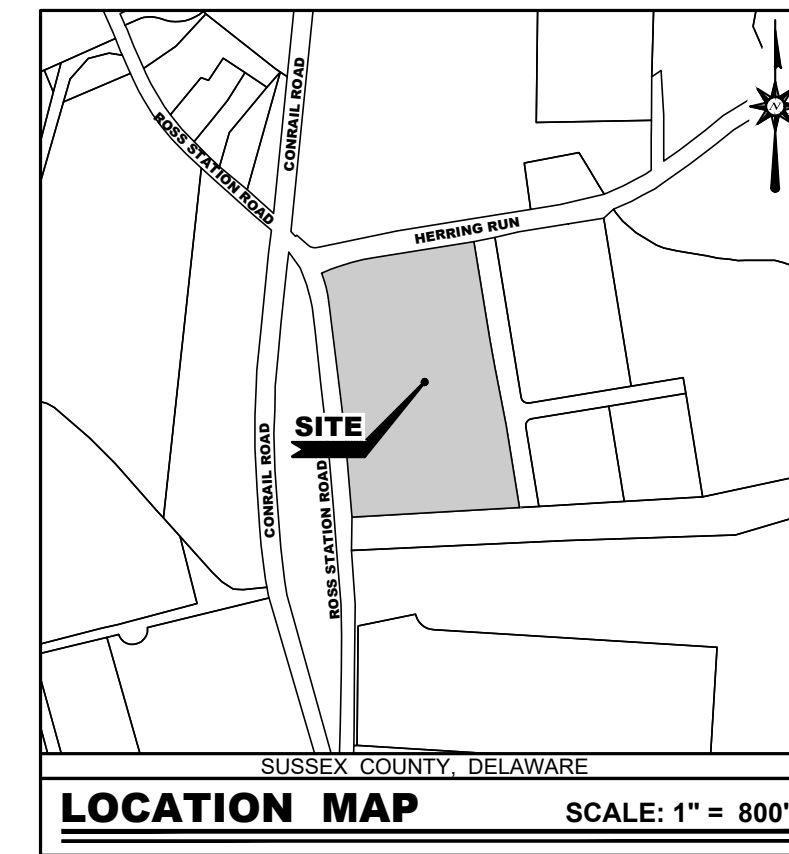
#### OWNERS CERTIFICATION

I, THE UNDERSIGNED CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E., BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT, AS REFERENCED ON THIS COVERSHEET.

JESSE PARKS (PRESIDENT) \_\_\_\_\_ DATE \_\_\_\_\_

KRM DEVELOPMENT CORPORATION  
205 CANNON STREET  
CHESTERTOWN, MD 21620  
PHONE: 410.810.1574

#### SEDIMENT AND STORMWATER APPROVAL STAMP



**SOIL MAP TAKEN FROM "USDA WEB SOIL SURVEY"**  
 LO : LONGMARSH AND INDIANTOWN SOILS, FREQUENTLY FLOODED  
 PaA: FALLSINGTON SANDY LOAMS, 0 TO 2 PERCENT SLOPES, NORTHERN TIDEWATER AREA  
 HbA : HAMBROOK SANDY LOAM, 0 TO 2 PERCENT SLOPES  
 ImB : INSIDE HAMMONTON FALLSINGTON COMPLEX, 0 TO 5 PERCENT SLOPES  
 SsB: SASSAFRAS SANDY LOAM, 0 TO 2 PERCENT SLOPES, NORTHERN TIDEWATER AREA

EROSION & SEDIMENT CONTROL LEGEND	
STANDARD INLET PROTECTION - TYPE 1	IP-1
STANDARD INLET PROTECTION - TYPE 2	IP-2
CONCRETE WASHOUT	CWS
CONCRETE MIXING OPERATION	CMO
STABILIZED CONSTRUCTION ENTRANCE	ESC
LIMIT OF DISTURBANCE	L.O.D.
SILT FENCE	SF

LEGEND		
ITEM	EXISTING	PROPOSED
SANITARY GRAVITY SEWER LINE, SIZE & FLOW DIRECTION	EX. 10" S	10" S
SANITARY SEWER FORCE MAIN, SIZE & FLOW DIRECTION	EX. 10" F.M.	12" F.M.
SANITARY SEWER MANHOLE (S.M.H.)	10"	12"
SANITARY SEWER CLEANOUT	10" W	12" W
WATER MAIN & SIZE	EX. 10" W	12" W
FIRE HYDRANT	F.H.	F.H.
WATER VALVE (W.V.) OR METER (W.M.)	W.M. W.V.	W.M. W.V.
STORM DRAIN MANHOLE (S.D.M.H.)	10"	12"
STORM DRAIN LINE (CMP OR RCP)	10"	12"
CATCH BASIN	CB	CB
UTILITY POLE W/ OVERHEAD SERVICE (TELEPHONE OR ELECTRIC OR BOTH)	U.E.	U.E.
UNDERGROUND ELECTRIC	U.T.	U.T.
UNDERGROUND GAS MAIN	U.T. G	U.T. G
PAVEMENT TO BE REMOVED	N/A	N/A
CONCRETE CURB & GUTTER	N/A	N/A
CONCRETE SIDEWALK, SLAB / PAVING	N/A	N/A
IMPERVIOUS SURFACE ROAD, DRIVE OR LOT	N/A	N/A
INDIVIDUAL TREE OR BUSH	N/A	N/A
WIRE FENCE	N/A	N/A
CHAINLINK FENCE	N/A	N/A
STOCKPILE FENCE	N/A	N/A
STRUCTURE (CONCRETE, WOOD, METAL, ETC.)	N/A	N/A
DRAINAGE DITCH OR SWALE	N/A	N/A
EMBANKMENT SIDESLOPES (DOWN)	N/A	N/A
CONTOUR	N/A	N/A
ELEVATION SPOT SHOT	N/A	N/A
BENCH MARK	N/A	N/A
PROPERTY OR RIGHT-OF-WAY LINE	N/A	N/A
CENTERLINE	N/A	N/A
LIGHT POLE	N/A	N/A
CONSTRUCTION NOTE	N/A	N/A

**BECKER MORGAN GROUP**

ARCHITECTURE  
ENGINEERING  
Delaware  
309 South Governors Avenue  
Dover, DE 19904  
302.734.7950  
The Tower at STAR Campus  
100 Discovery Boulevard, Suite 102  
Newark, DE 19713  
302.369.3700  
Maryland  
312 West Main Street, Suite 300  
Salisbury, MD 21801  
410.546.9100  
North Carolina  
3333 Jaeckle Drive, Suite 120  
Wilmington, NC 28403  
910.341.7600  
www.beckermorgan.com

PROJECT TITLE

**WESTERN SUSSEX BUSINESS CAMPUS**

CITY OF SEAFORD  
SUSSEX COUNTY, DE

SHEET TITLE

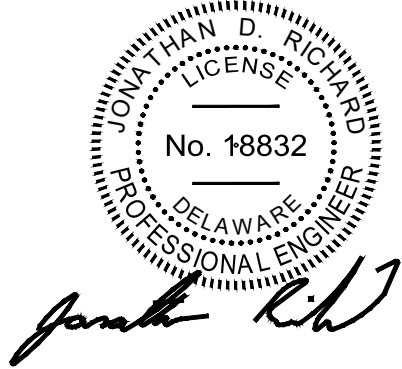
**COVER SHEET & GENERAL NOTES**

ISSUE	BLOCK	DATE	DESCRIPTION
6.	02-03-23	REVISED PER DNREC COMMENTS ISSUED ON 02-01-2023	
5.	12-16-22	REVISED PER SCD COMMENTS ISSUED ON 12-07-2022	
4.	11-30-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 11-18-2022	
3.	11-15-22	REVISED PER CITY OF SEAFORD COMMENTS ISSUED ON 10-11-2022	
2.	10-10-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 09-22-2022	
1.	10-07-22	REVISED PER SCD COMMENTS ISSUED ON 10-03-2022	

MARK DATE DESCRIPTION

PROJECT NO.: 2021150.00  
DATE: 09-12-2022  
SCALE: NONE  
DRAWN BY: A.C.F. / PROJ. MGR.: J.D.R.

SHEET  
**C-500**  
COPYRIGHT 2021



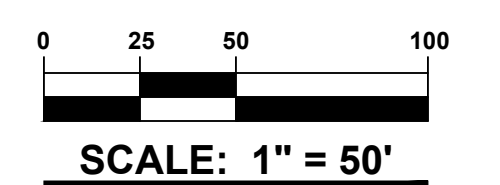
PROJECT TITLE

**WESTERN SUSSEX BUSINESS CAMPUS**

CITY OF SEAFORD  
SUSSEX COUNTY, DE

SHEET TITLE

**PRE - CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN**

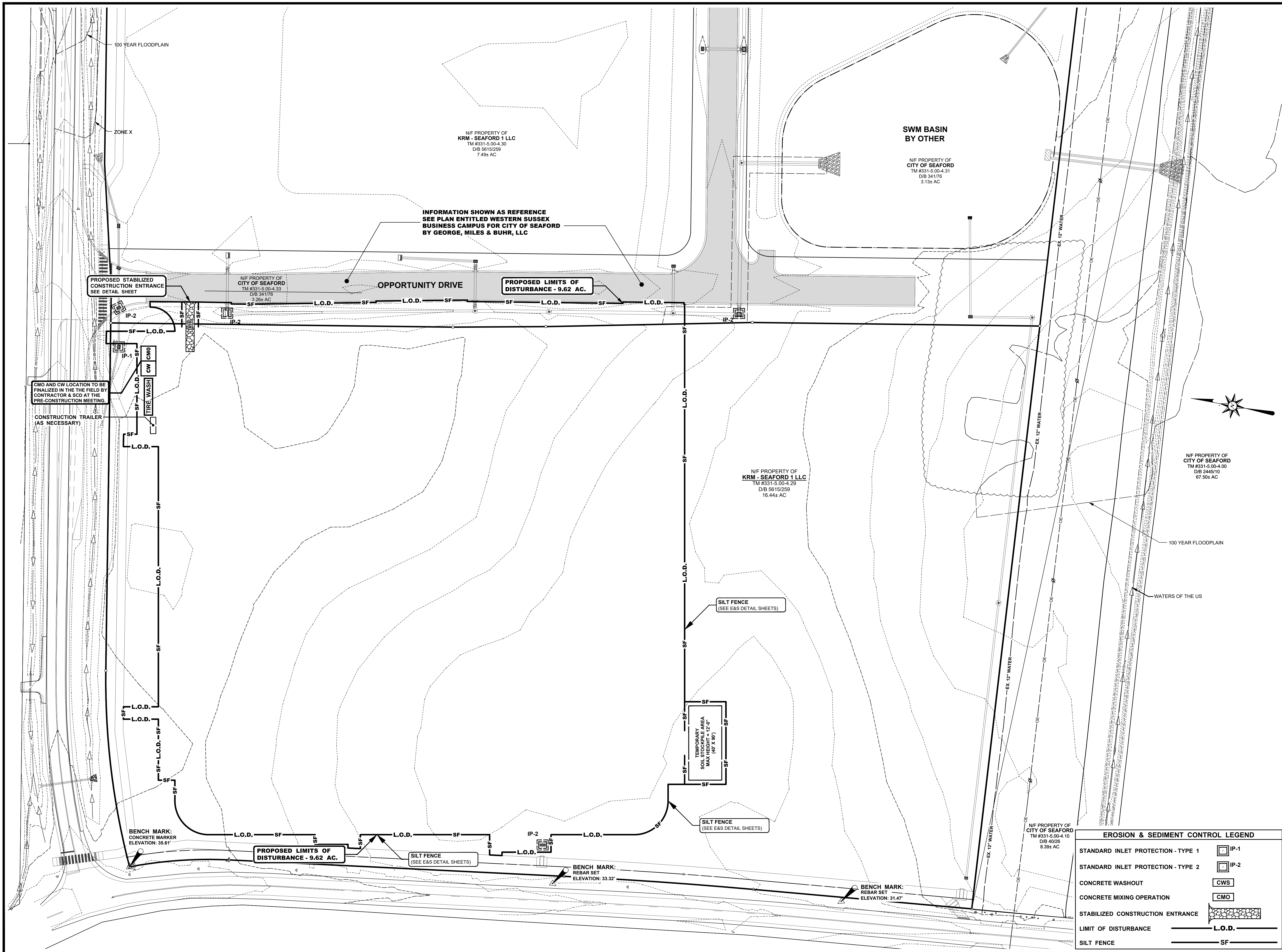


ISSUE BLOCK

MARK	DATE	DESCRIPTION
6.	02-03-23	REVISED PER DNREC COMMENTS ISSUED ON 02-01-2023
5.	12-16-22	REVISED PER SCD COMMENTS ISSUED ON 12-27-2022
4.	11-30-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 11-18-2022
3.	11-15-22	REVISED PER CITY OF SEAFORD COMMENTS ISSUED ON 10-11-2022
2.	10-10-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 09-22-2022
1.	10-07-22	REVISED PER SCD COMMENTS ISSUED ON 10-03-2022

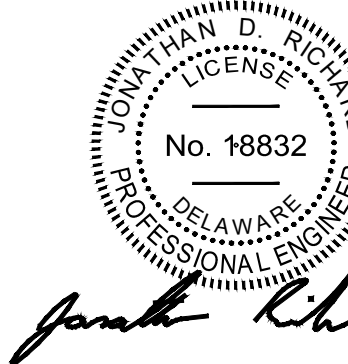
PROJECT NO.: 2021150.00  
DATE: 09-12-2022  
SCALE: 1" = 50'  
DRAWN BY: A.C.F. PROJ. MGR.: J.D.R.

SHEET  
**C-501**  
COPYRIGHT 2021



**EROSION & SEDIMENT CONTROL LEGEND**

STANDARD INLET PROTECTION - TYPE 1	IP-1
STANDARD INLET PROTECTION - TYPE 2	IP-2
CONCRETE WASHOUT	CWS
CONCRETE MIXING OPERATION	CMO
STABILIZED CONSTRUCTION ENTRANCE	[Symbol]
LIMIT OF DISTURBANCE	L.O.D.
SILT FENCE	SF



PROJECT TITLE

**WESTERN SUSSEX BUSINESS CAMPUS**

CITY OF SEAFORD  
SUSSEX COUNTY, DE

SHEET TITLE

**CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN**



ISSUE BLOCK

MARK	DATE	DESCRIPTION
6	02-03-23	REVISED PER DNREC COMMENTS ISSUED ON 02-01-2023
5	12-16-22	REVISED PER SCD COMMENTS ISSUED ON 12-07-2022
4	11-30-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 11-18-2022
3	11-15-22	REVISED PER CITY OF SEAFORD COMMENTS ISSUED ON 10-11-2022
2	10-10-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 09-22-2022
1	10-07-22	REVISED PER SCD COMMENTS ISSUED ON 10-03-2022

PROJECT NO.: 2021150.00

DATE: 09-12-2022

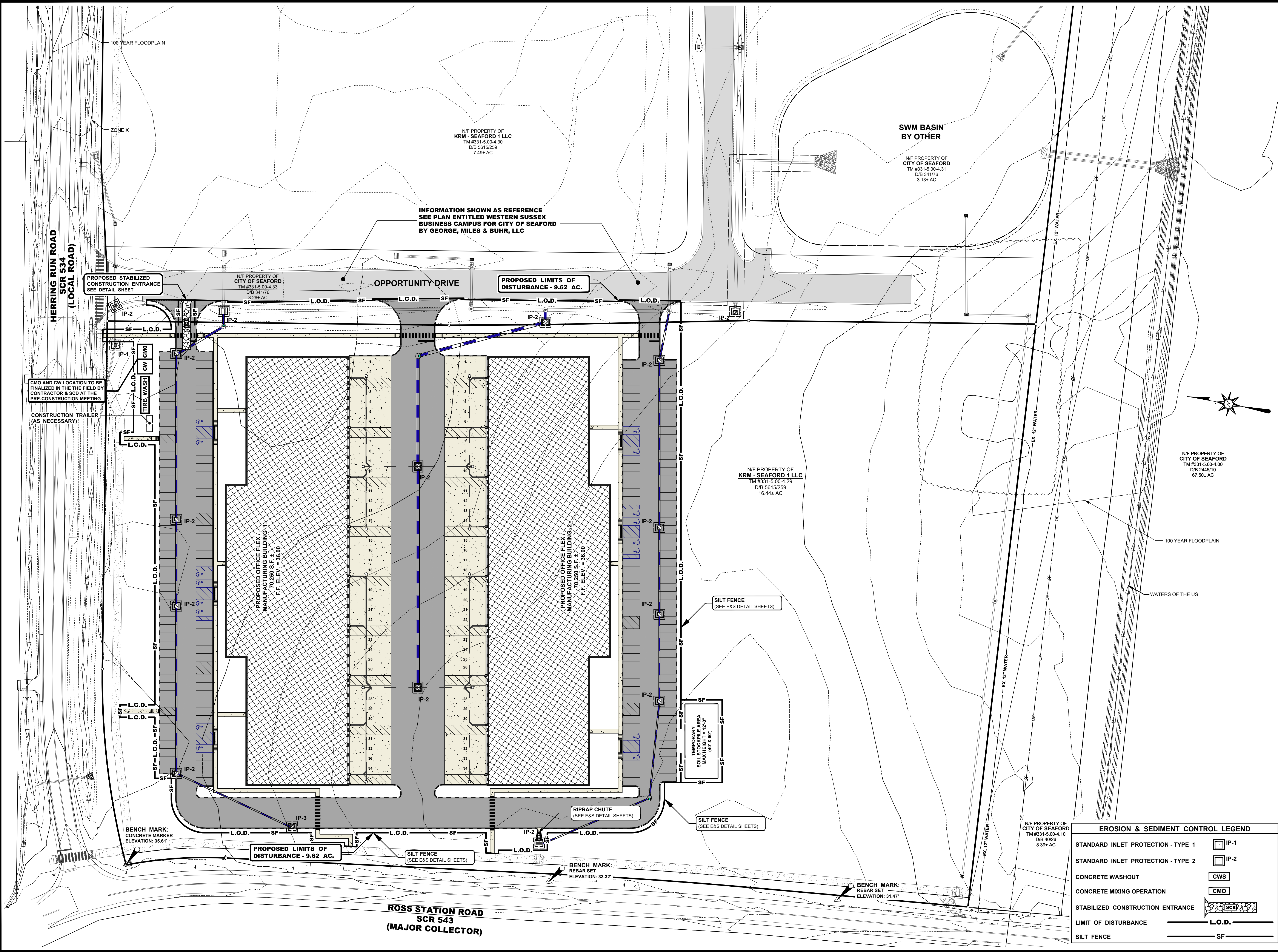
SCALE: 1" = 50'

DRAWN BY: A.C.F. | PROJ. MGR.: J.D.R.

SHEET

**C-502**

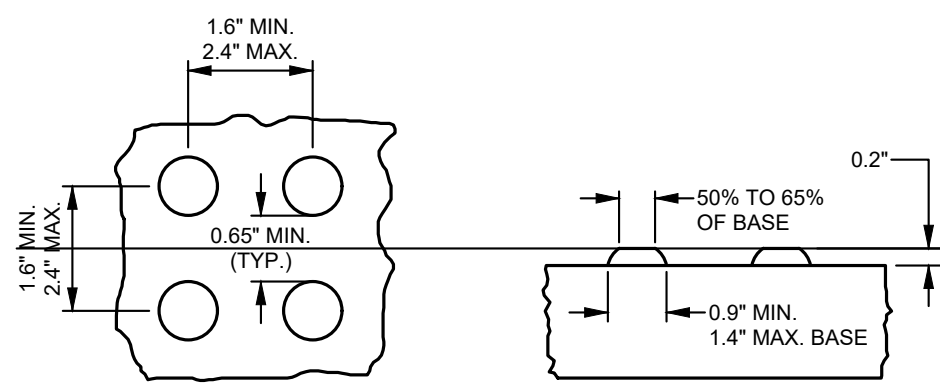
COPYRIGHT 2021



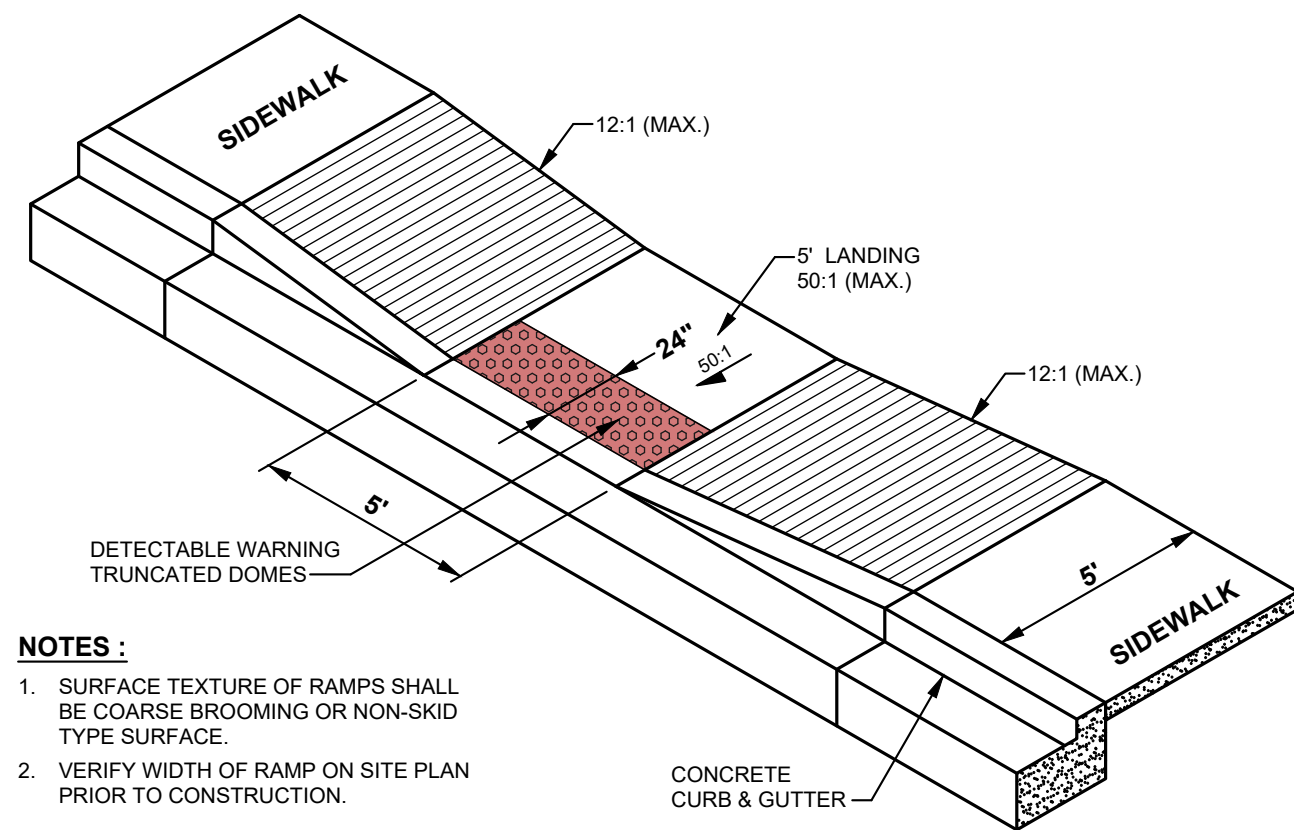
**EROSION & SEDIMENT CONTROL LEGEND**

STANDARD INLET PROTECTION - TYPE 1	IP-1
STANDARD INLET PROTECTION - TYPE 2	IP-2
CONCRETE WASHOUT	CWS
CONCRETE MIXING OPERATION	CMO
STABILIZED CONSTRUCTION ENTRANCE	SCE
LIMIT OF DISTURBANCE	L.O.D.
SILT FENCE	SF



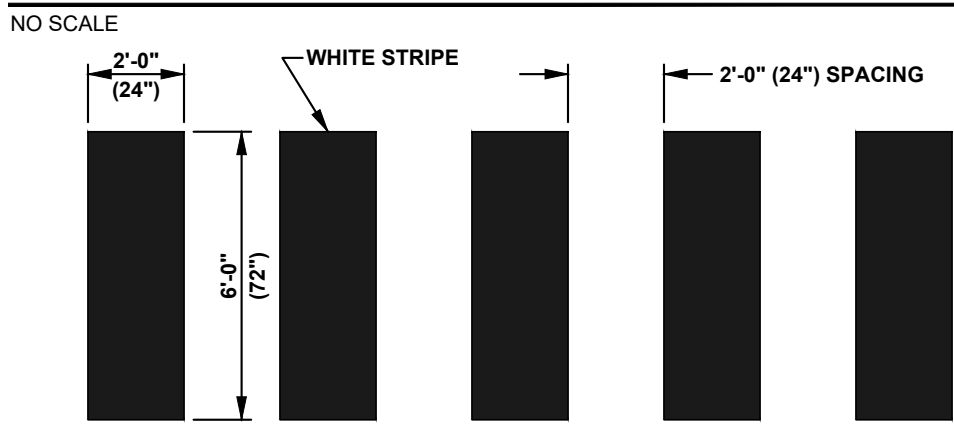


**DETECTABLE WARNINGS - TRUNCATED DOME**



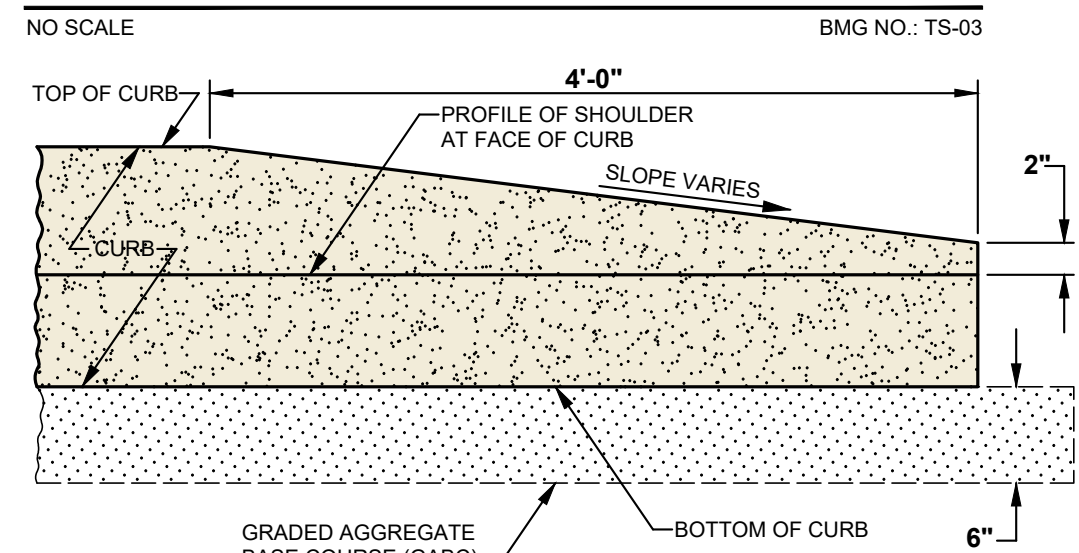
- NOTES:**
1. SURFACE TEXTURE OF RAMPS SHALL BE COARSE BROOMING OR NON-SKID TYPE SURFACE.
  2. VERIFY WIDTH OF RAMP ON SITE PLAN PRIOR TO CONSTRUCTION.

**ACCESSIBLE RAMP DETAIL**

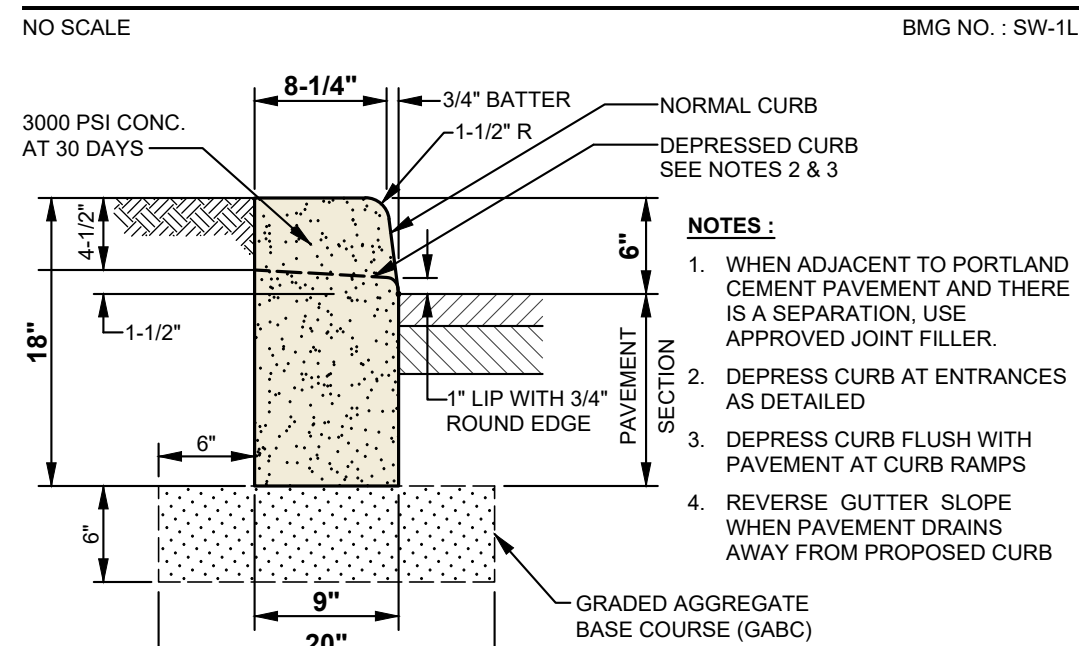


**STRIPING OF CROSSWALK SHALL BE THERMO**

**PEDESTRIAN CROSSWALK DETAIL**



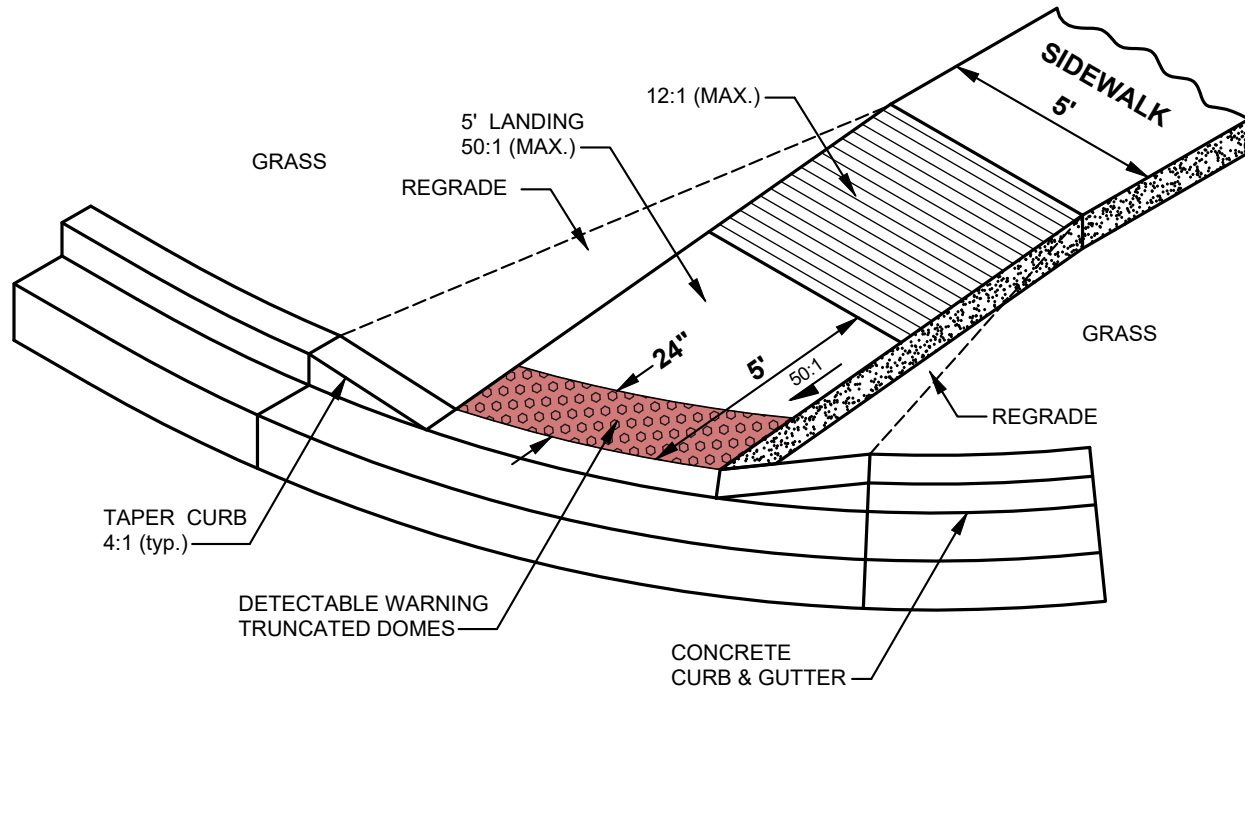
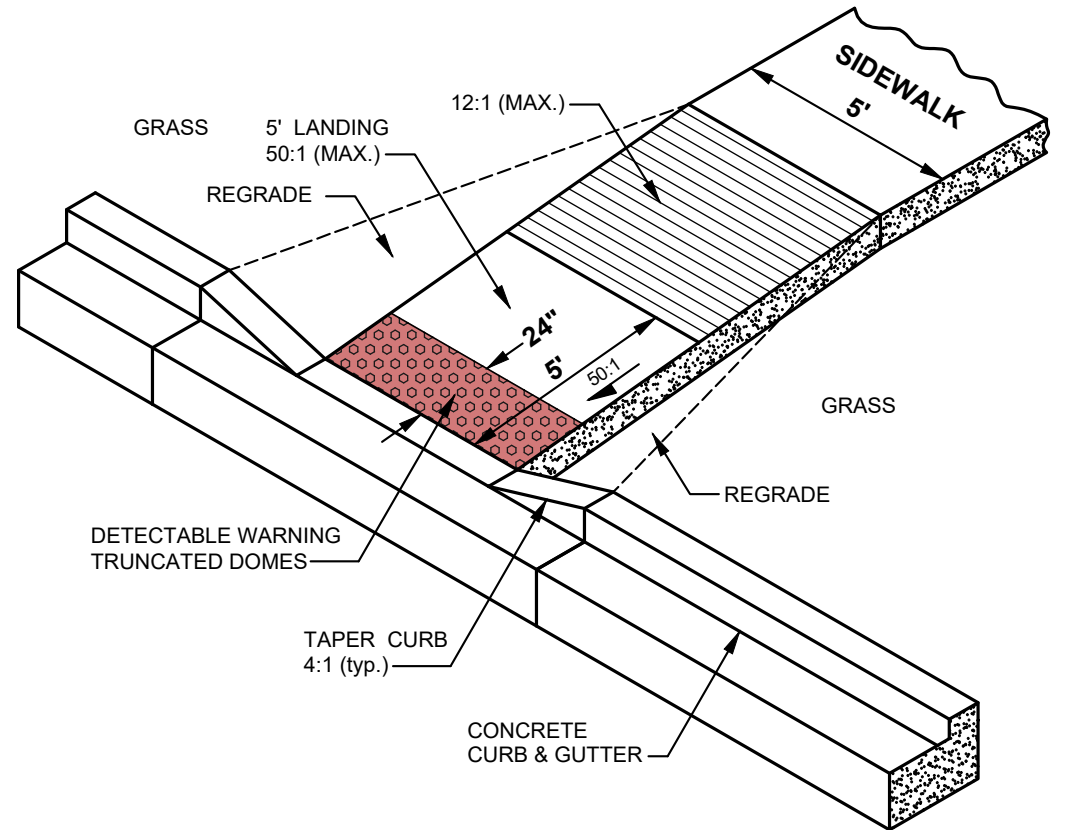
**CURB TAPER DETAIL**



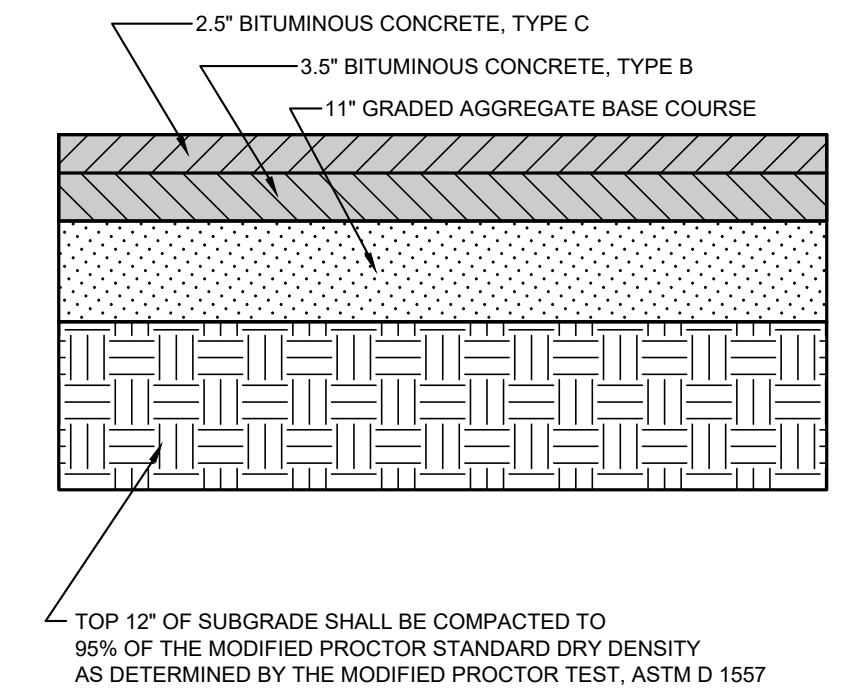
**P.C.C. CURB - TYPE 1 - 6**

NO SCALE SHOWN FOR REFERENCE ONLY - SEE DELDOT STANDARDS BMG NO.: SW-011A

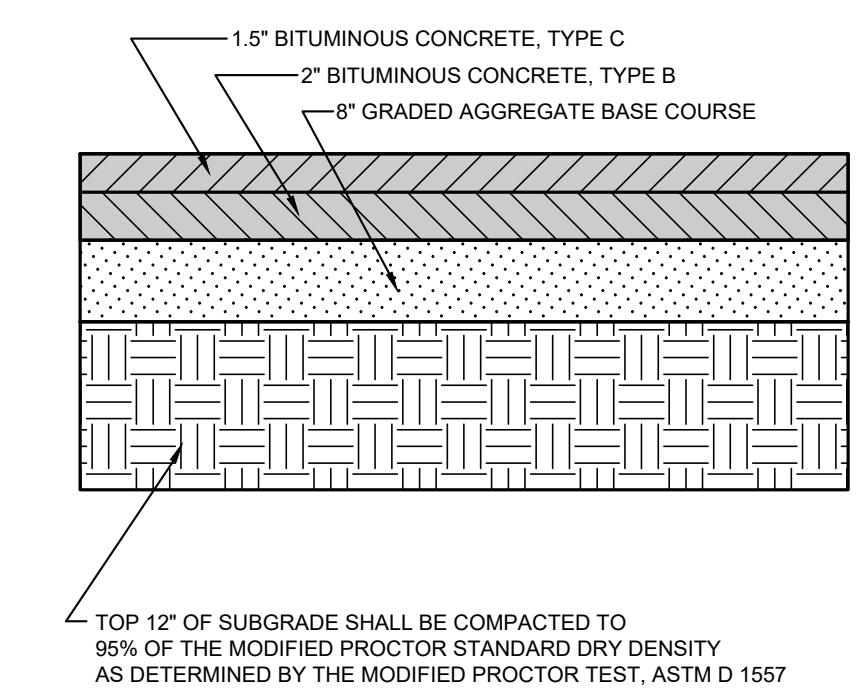
- NOTES:**
- PER CURRENT ADAAG:
1. PRIOR TO INSTALLATION VERIFY MATERIALS AND COLORS WITH DELDOT AND/OR LOCAL AGENCIES.
  2. THE AREA OF DETECTABLE WARNING TRUNCATED DOMES SHALL BE 2'-0\"/>
  - 3. DETECTABLE WARNINGS MUST HAVE A LIGHT-TO-DARK CONTRAST WITH THE SIDEWALK MATERIAL.
  - 4. LIGHT REFLECTANCE VALUE CONTRAST MUST BE AT LEAST 70%.
  - 5. THE COLOR OF DETECTABLE WARNINGS TO BE USED FOR SIDEWALK MATERIAL IS AS FOLLOWS:
- | SIDEWALK / CURB RAMP MATERIAL | DETECTABLE WARNING SYSTEM COLOR                                    |
|-------------------------------|--|
| CONCRETE                      | BROWN CONCRETE, DARK GRAY, BRIGHT RED, ORANGE (BRICK) RED OR BLACK |



BMG NO.: SW-04A1



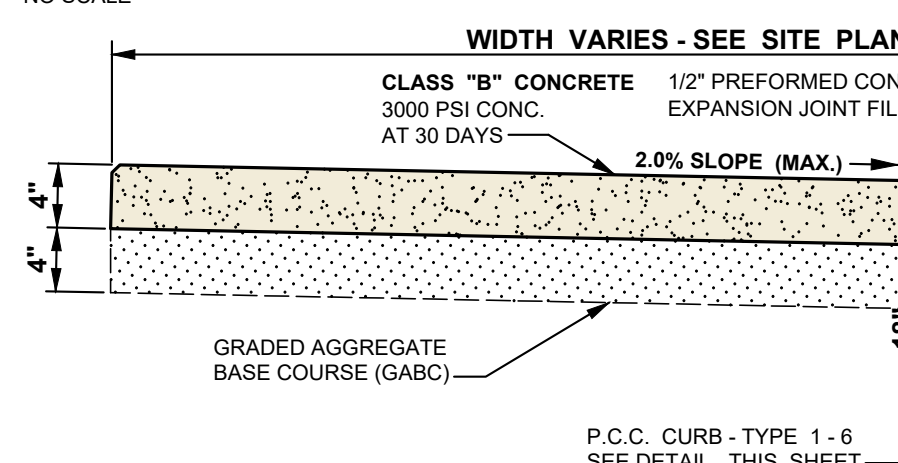
**PAVEMENT SECTION FOR: TRUCK LOADING AREAS (MIDDLE DRIVE AISLE)**



**PAVEMENT SECTION FOR: FRONT PARKING LOT AND DRIVE AISLES**

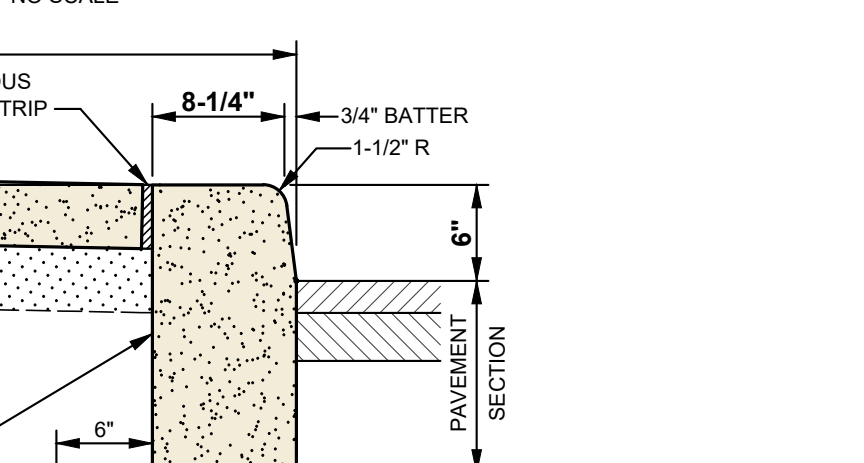
**HEAVY DUTY PAVEMENT SECTION DETAIL**

**LIGHT DUTY PAVEMENT SECTION DETAIL**



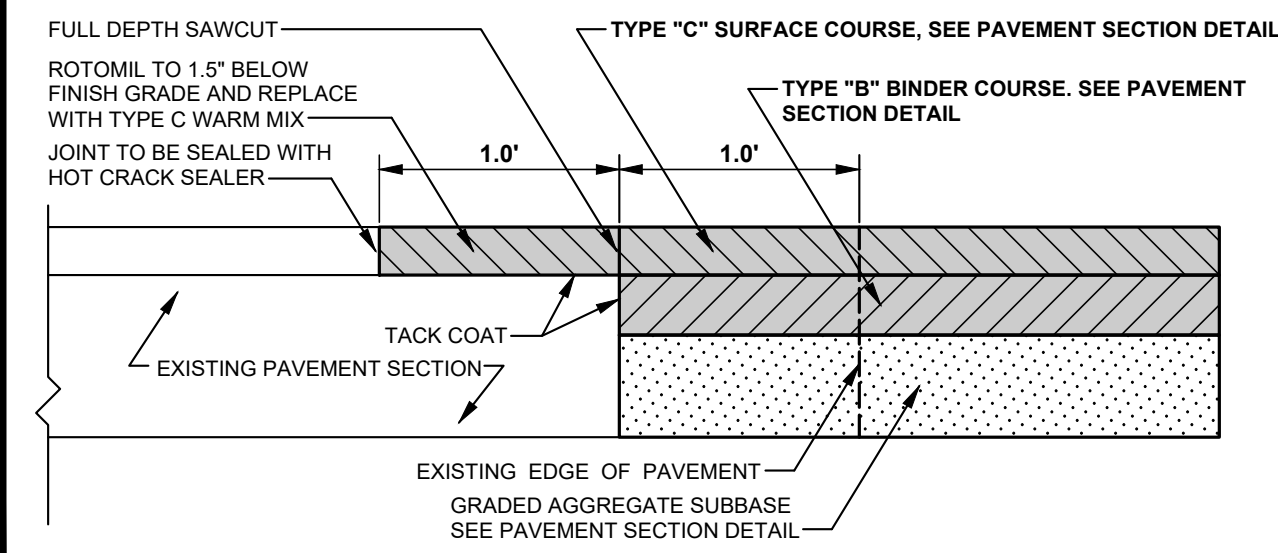
**COMBINATION SIDEWALK AND P.C.C. CURB TYPE 1-6**

NO SCALE



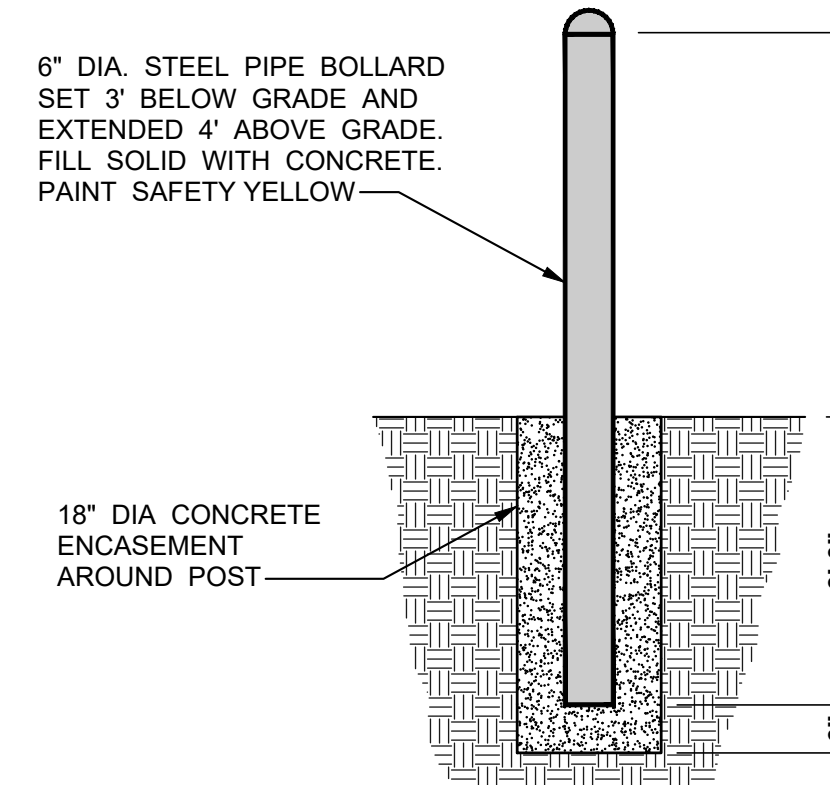
**CONCRETE PAD SECTION (8\"/>**

NO SCALE



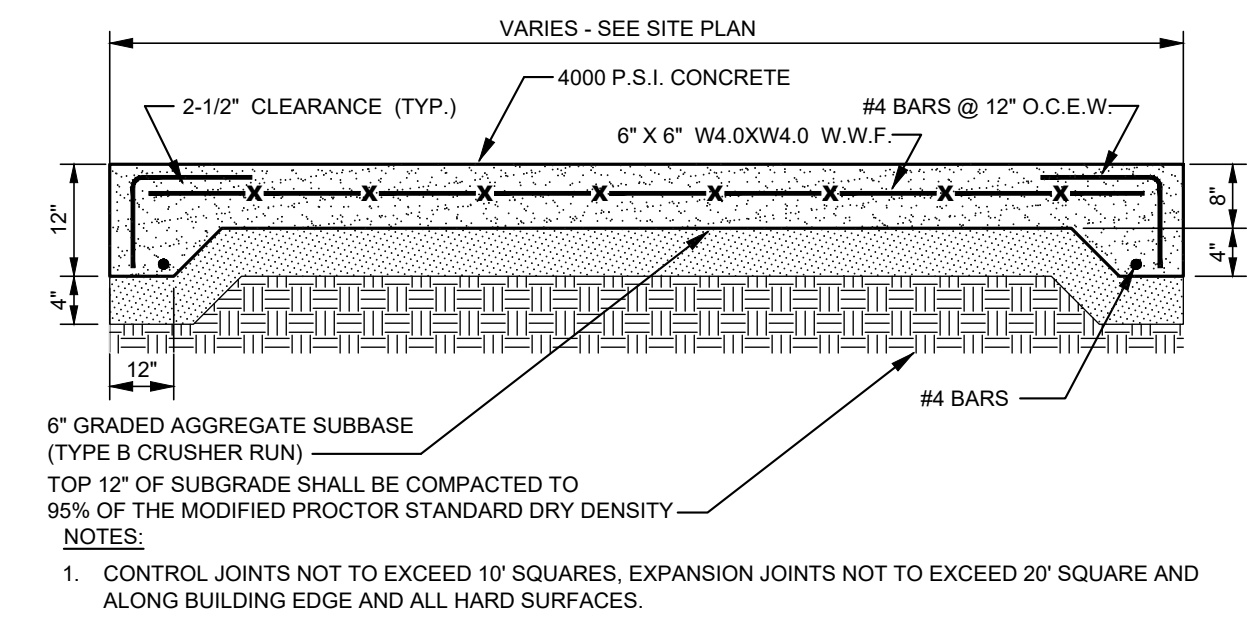
**PAVEMENT TIE-IN SECTION**

NO SCALE



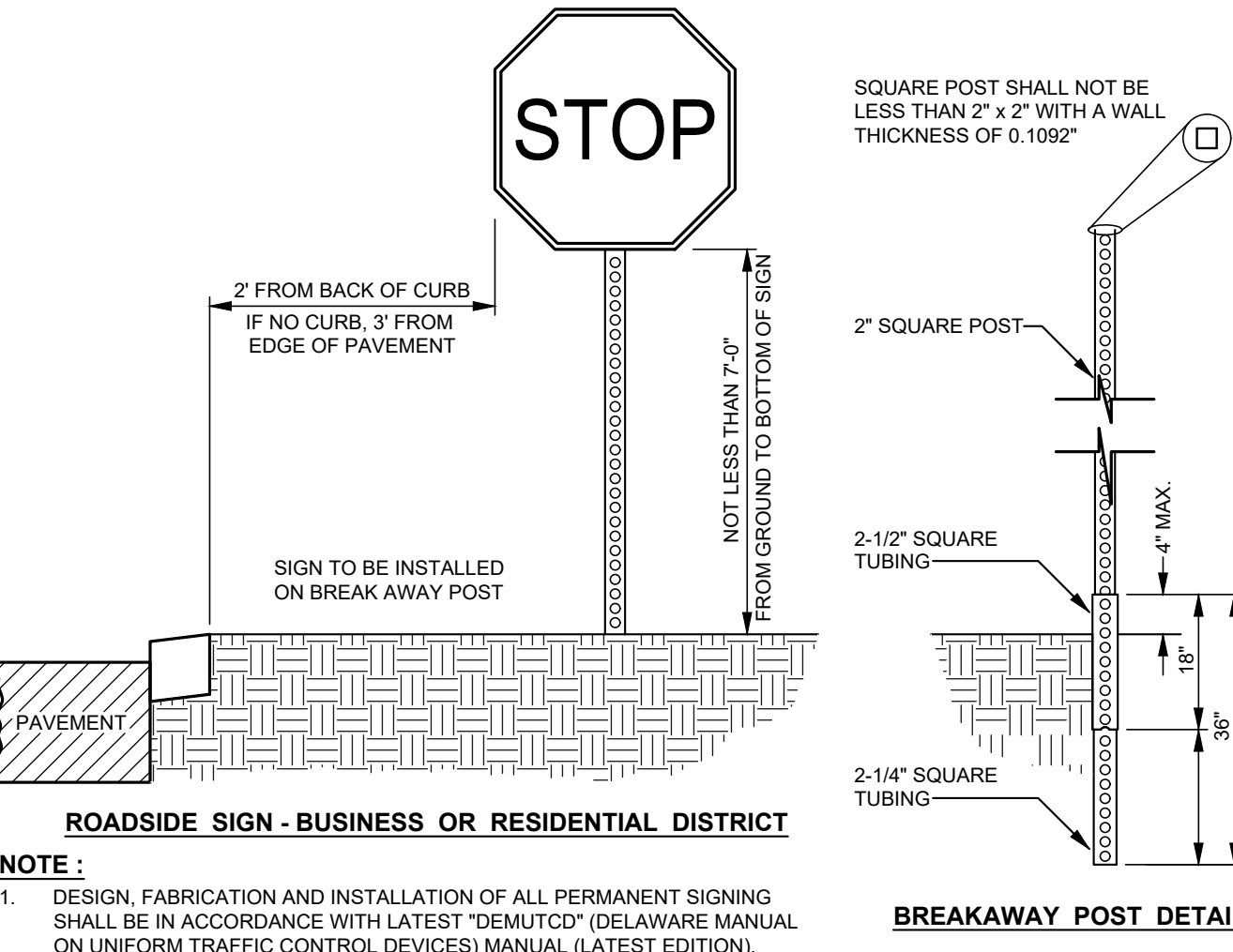
**PIPE BOLLARD DETAIL**

NO SCALE



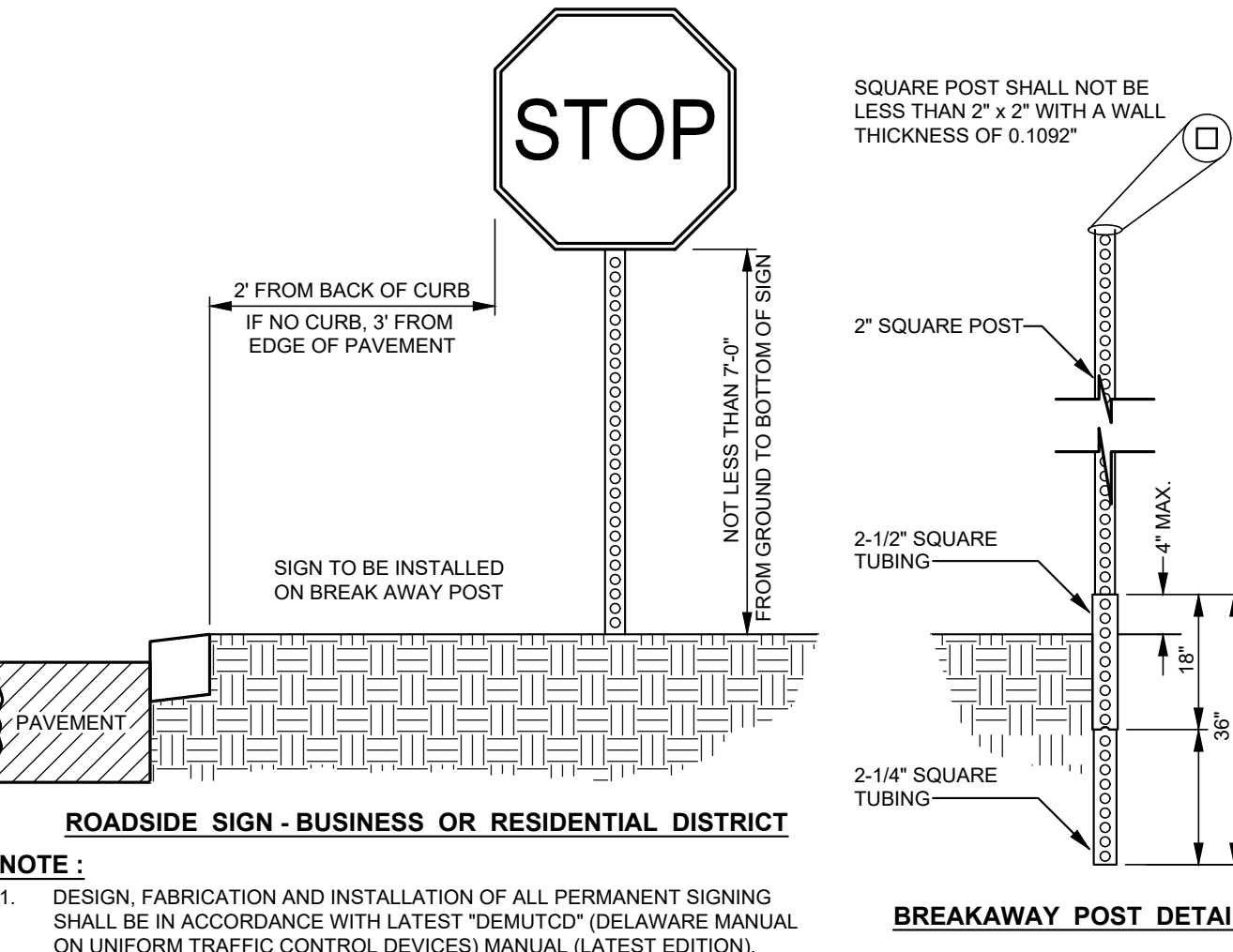
**CONCRETE PAD SECTION (8\"/>**

NO SCALE



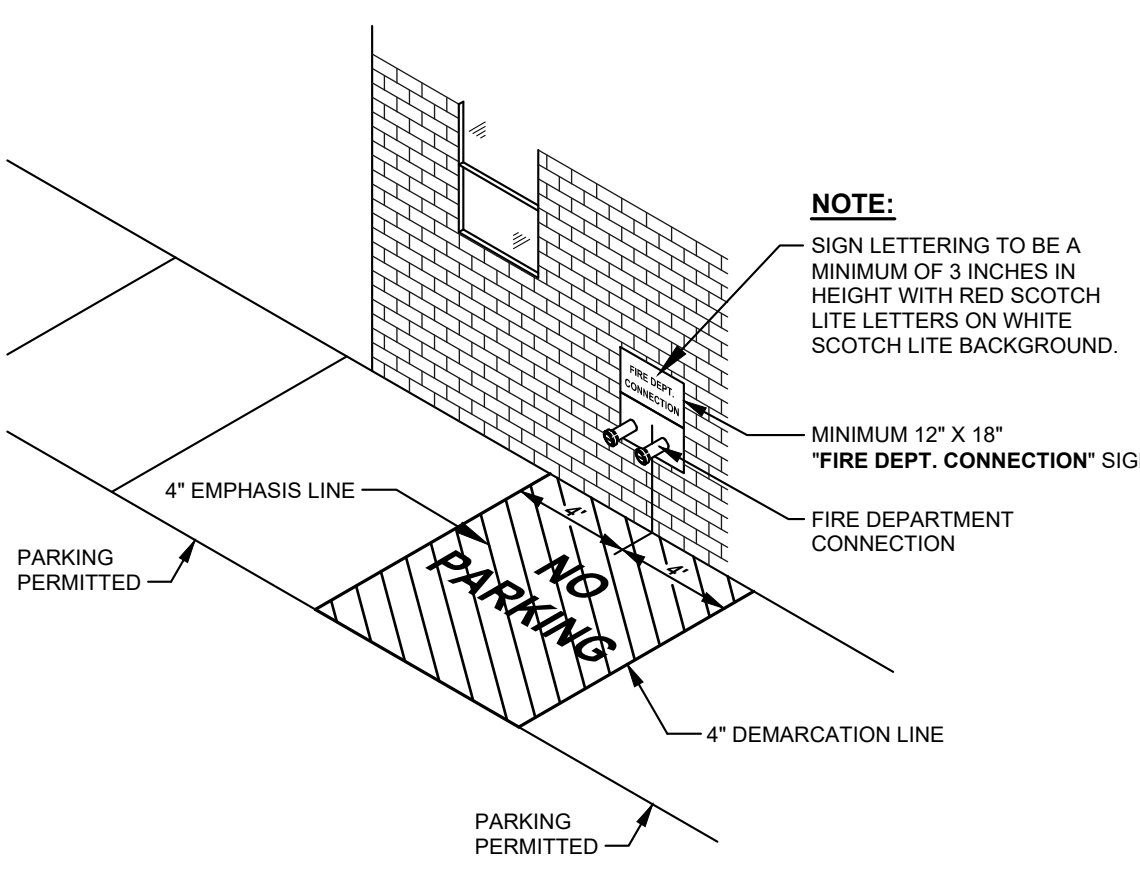
**ROADSIDE SIGN - BUSINESS OR RESIDENTIAL DISTRICT**

NO SCALE



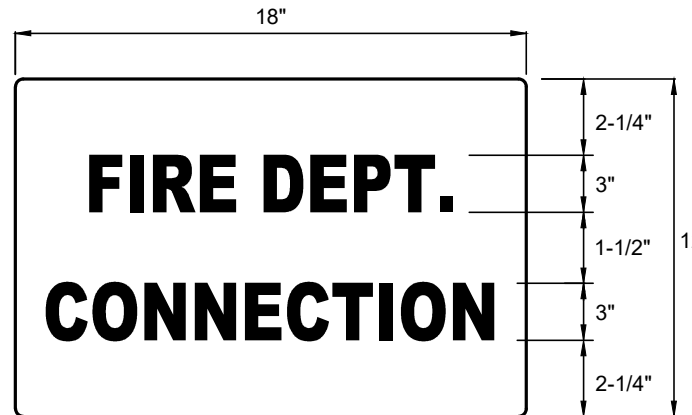
**BREAKAWAY POST DETAIL**

NO SCALE



**STANDPIPE / SPRINKLER CONNECTION**

NO SCALE



**FIRE CONNECTION SIGN**

NO SCALE

**FIRE CONNECTION SIGN**

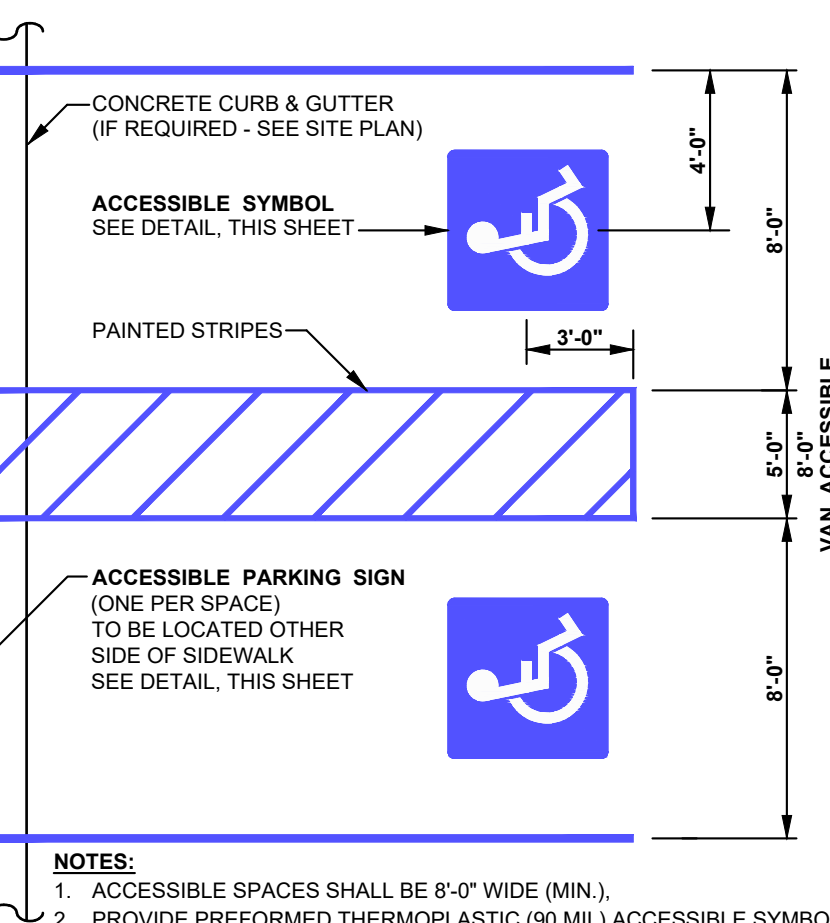
NO SCALE



**ACCESSIBLE THERMO SYMBOL**

NO SCALE

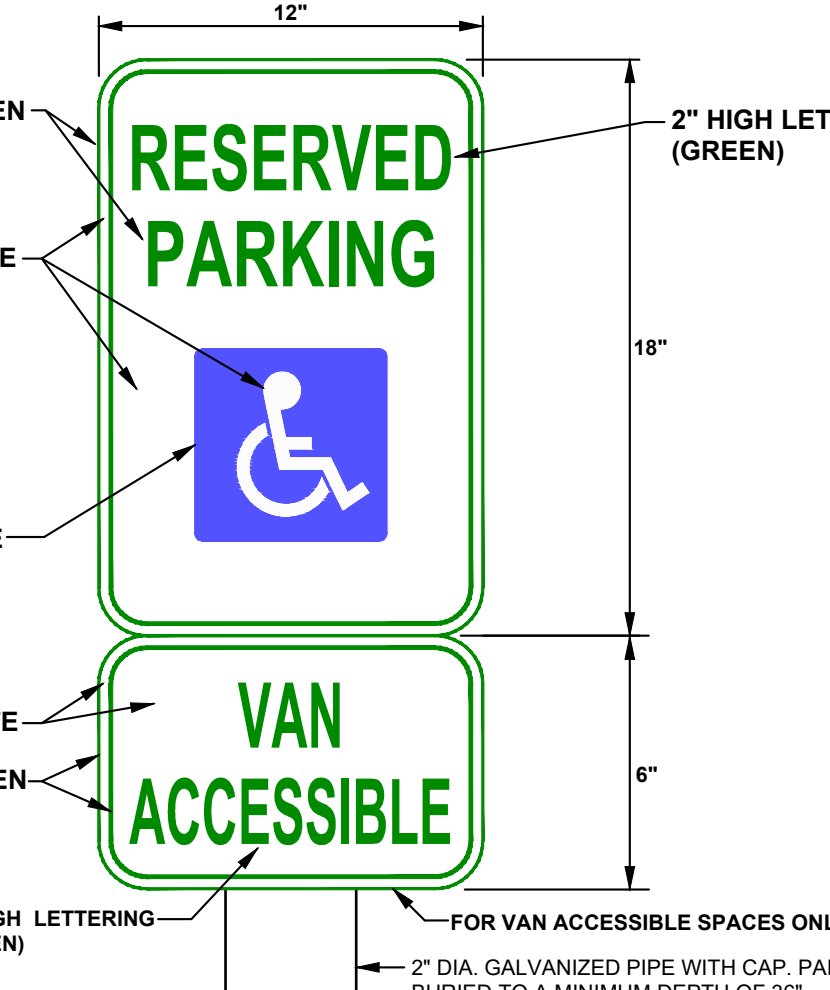
BMG NO.: SW-4E-2



**ACCESSIBLE PARKING SPACE PLAN**

NO SCALE

BMG NO.: SW-4B1



**ACCESSIBLE PARKING SIGN DETAIL**

NO SCALE

BMG NO.: SW-4CB-VAN

**ACCESSIBLE PARKING SIGN DETAIL**

NO SCALE



**ARCHITECTURE  
ENGINEERING**

**Delaware**

309 South Governors Avenue  
Dover, DE 19904  
302.734.7950

The Tower at STAR Campus  
100 Discovery Boulevard, Suite 102  
Newark, DE 19713  
302.369.3700

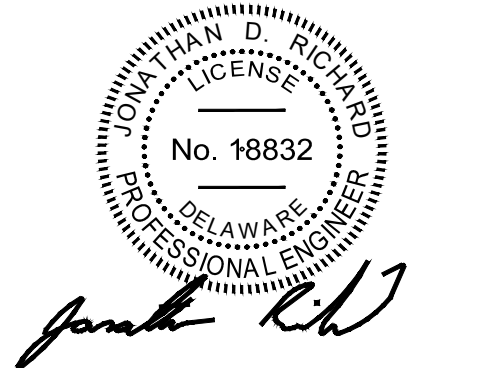
**Maryland**

312 West Main Street, Suite 300  
Salisbury, MD 21801  
410.546.9100

**North Carolina**

3333 Jaeckle Drive, Suite 120  
Wilmington, NC 28403  
910.341.7600

[www.beckermorgan.com](http://www.beckermorgan.com)



PROJECT TITLE

**WESTERN  
SEAFORD  
BUSINESS  
CAMPUS**

CITY OF SEAFORD  
SUSSEX COUNTY, DE

SHEET TITLE

**SITE CONSTRUCTION  
DETAILS**

ISSUE BLOCK

NO.	DATE	DESCRIPTION
6.	02-03-23	REVISED PER DNREC COMMENTS ISSUED ON 02-01-2023
5.	12-16-22	REVISED PER SCD COMMENTS ISSUED ON 12-07-2022
4.	11-30-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 11-18-2022
3.	11-15-22	REVISED PER CITY OF SEAFORD COMMENTS ISSUED ON 10-11-2022
2.	10-10-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 09-22-2022
1.	10-07-22	REVISED PER SCD COMMENTS ISSUED ON 10-03-2022

PROJECT NO.: 2021150.00

DATE: 07-14-2022

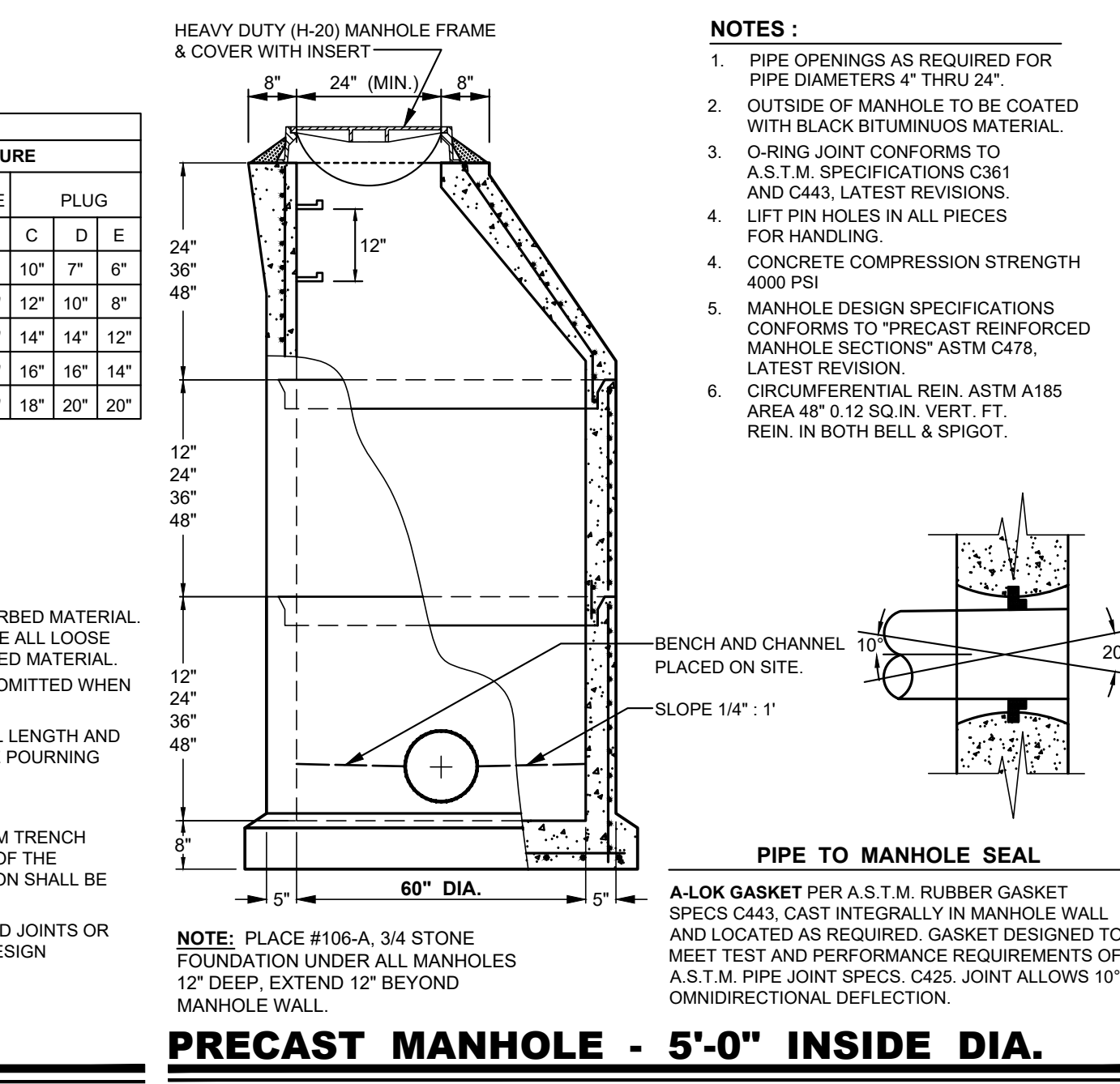
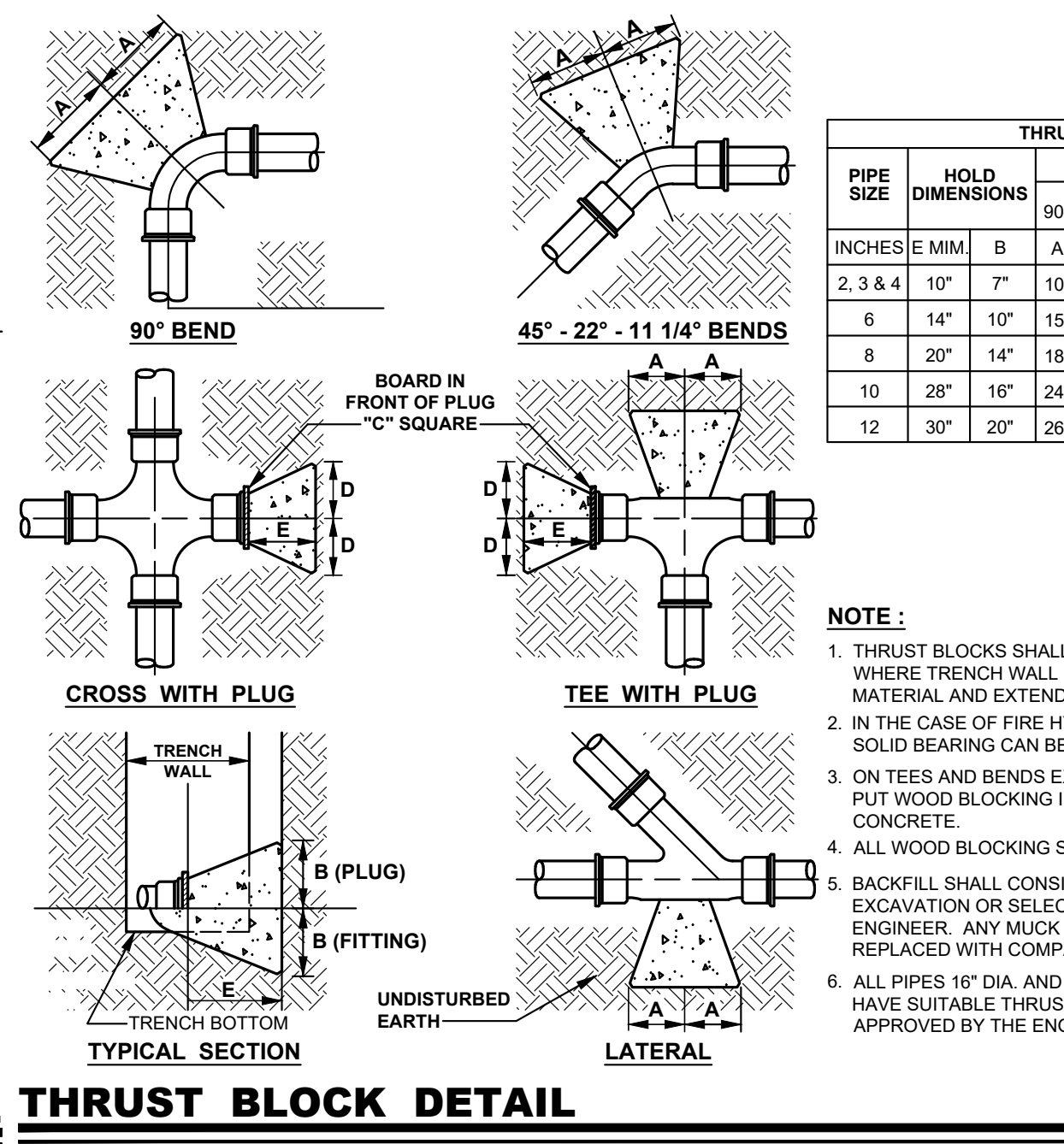
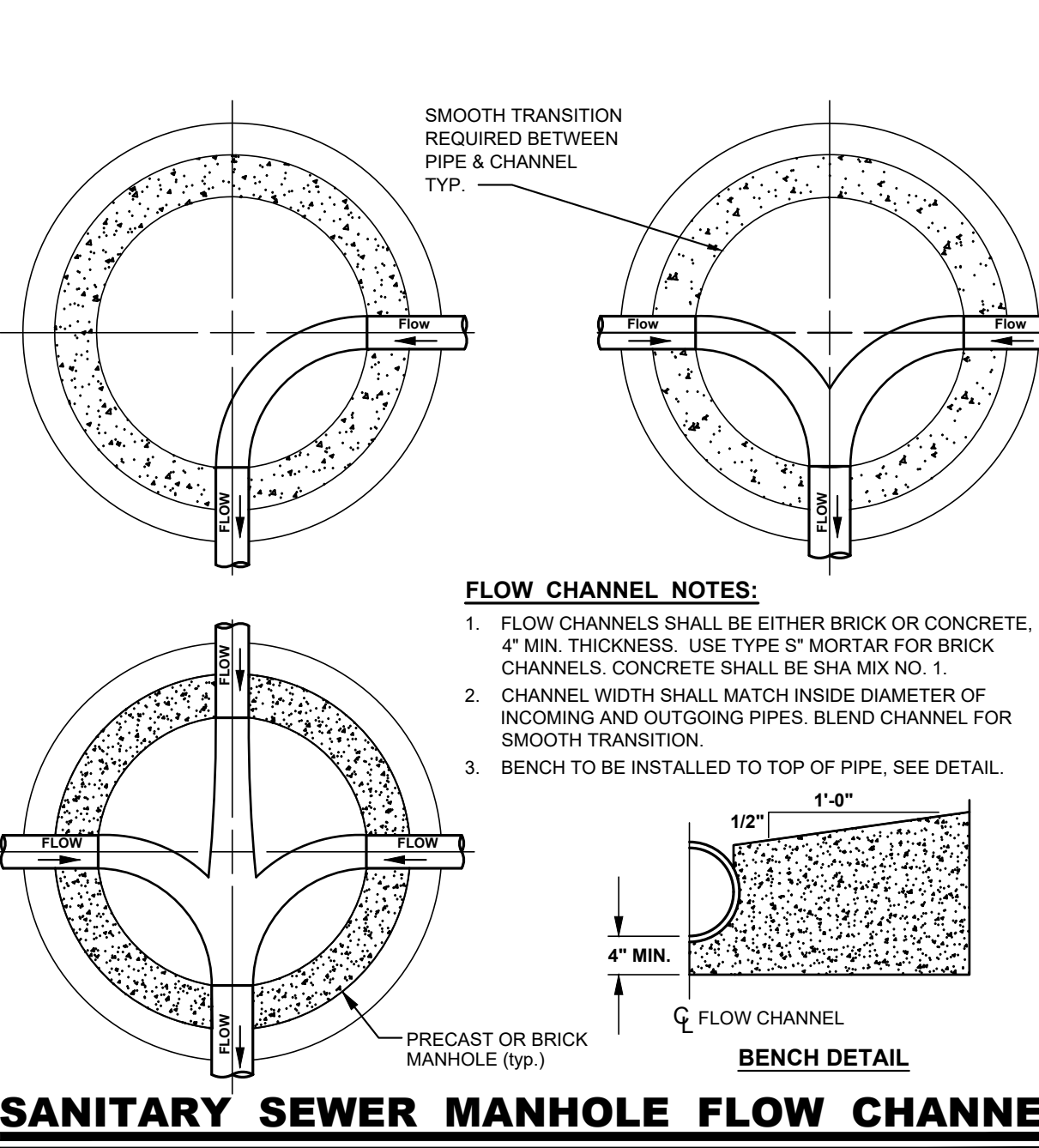
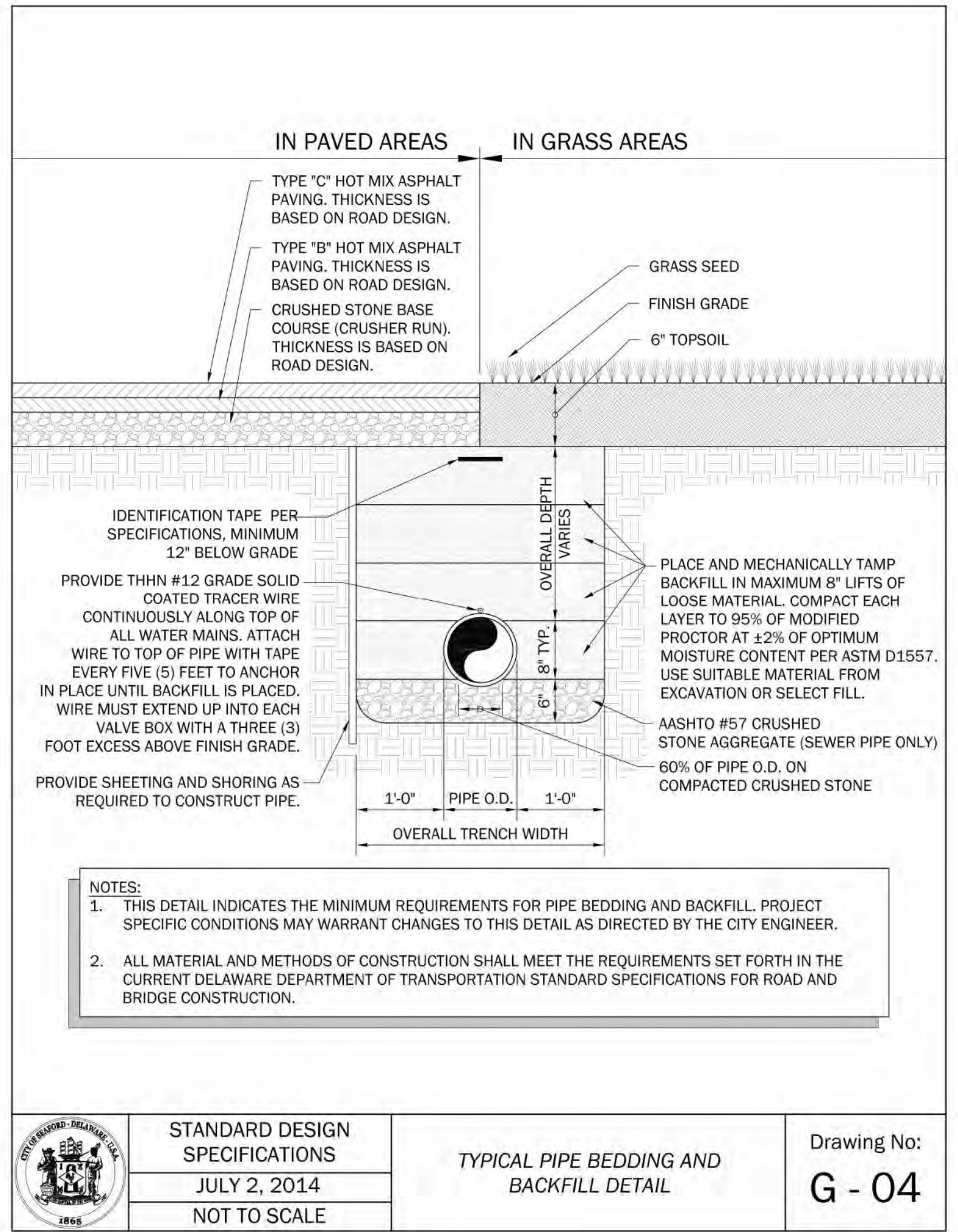
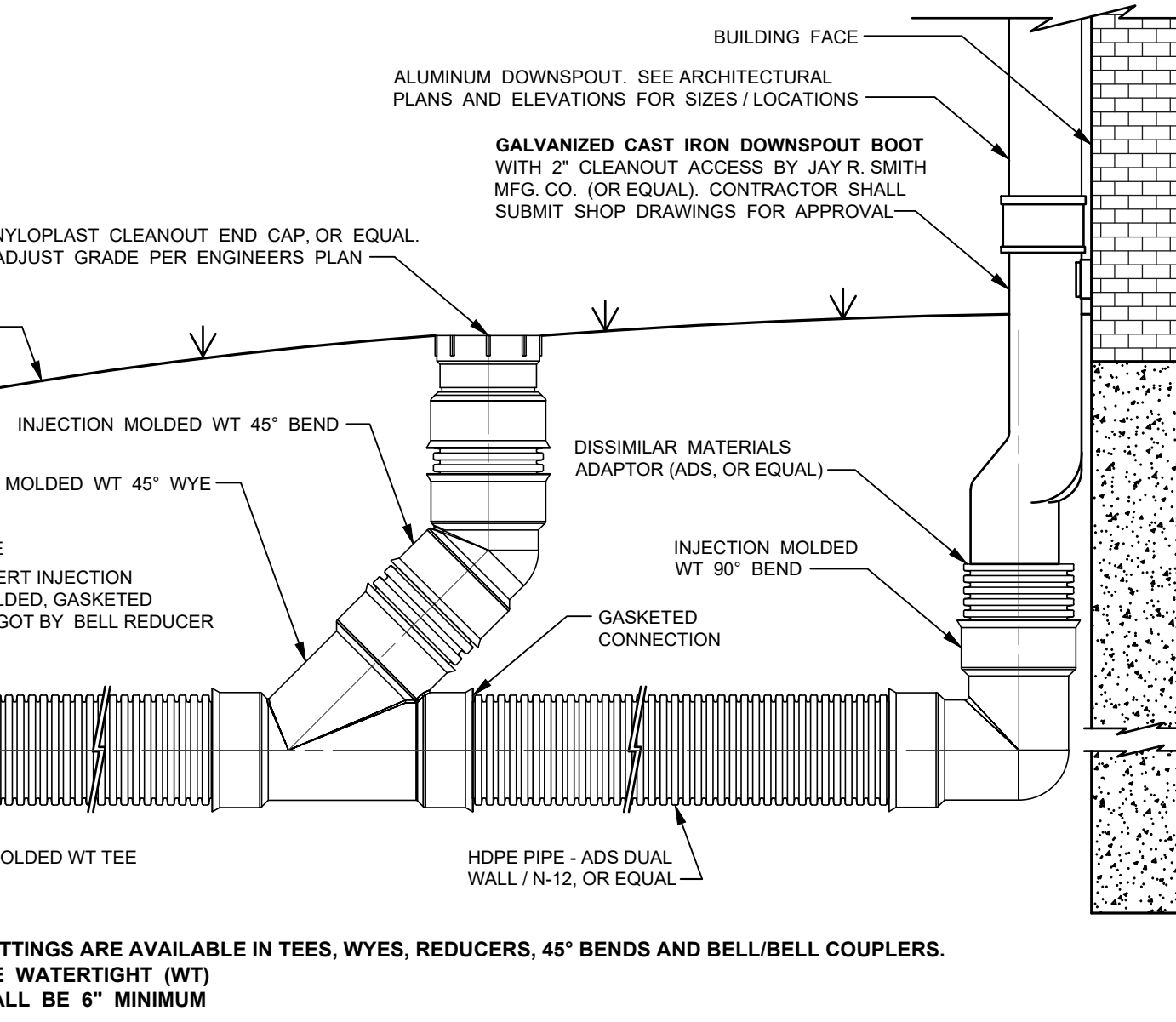
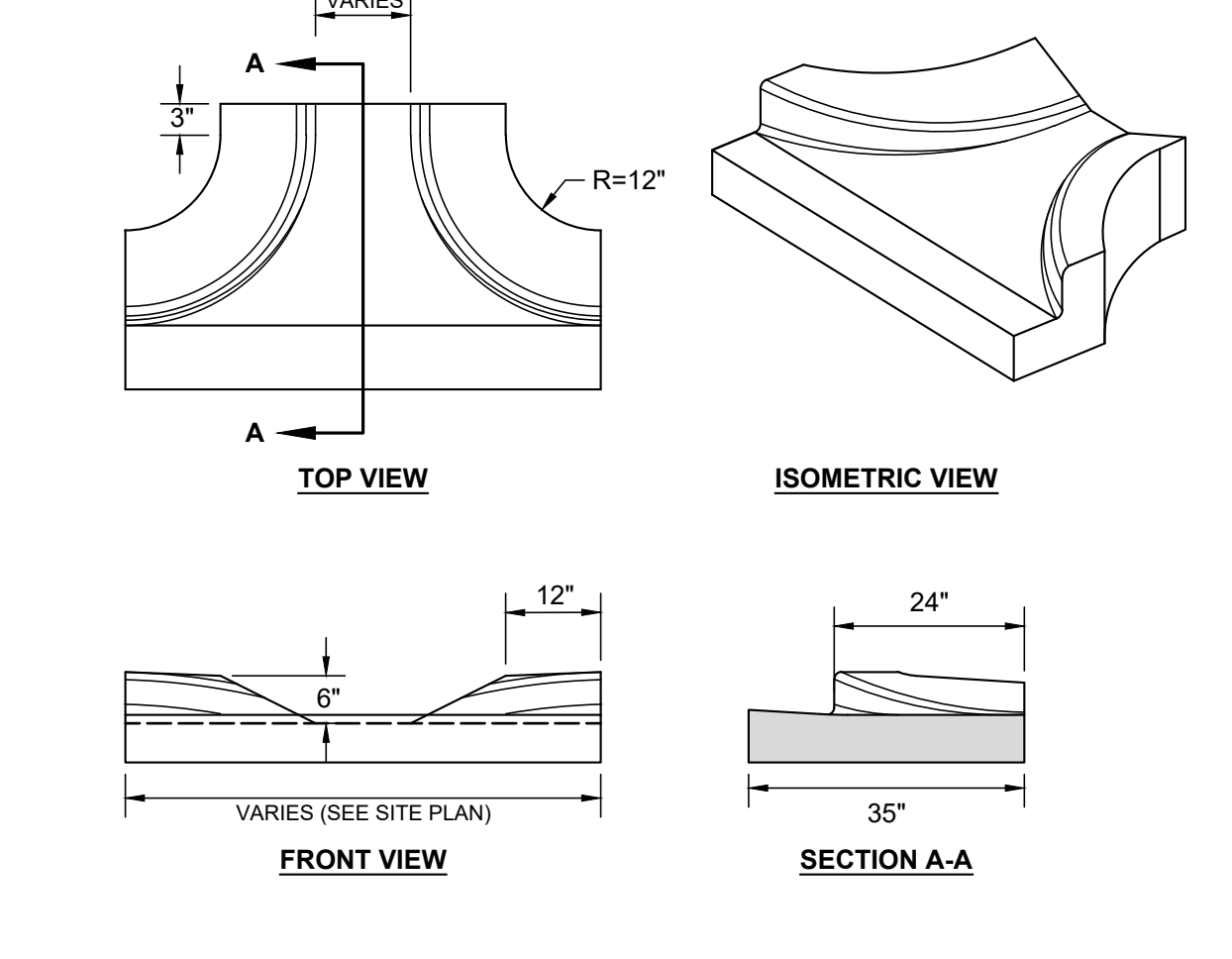
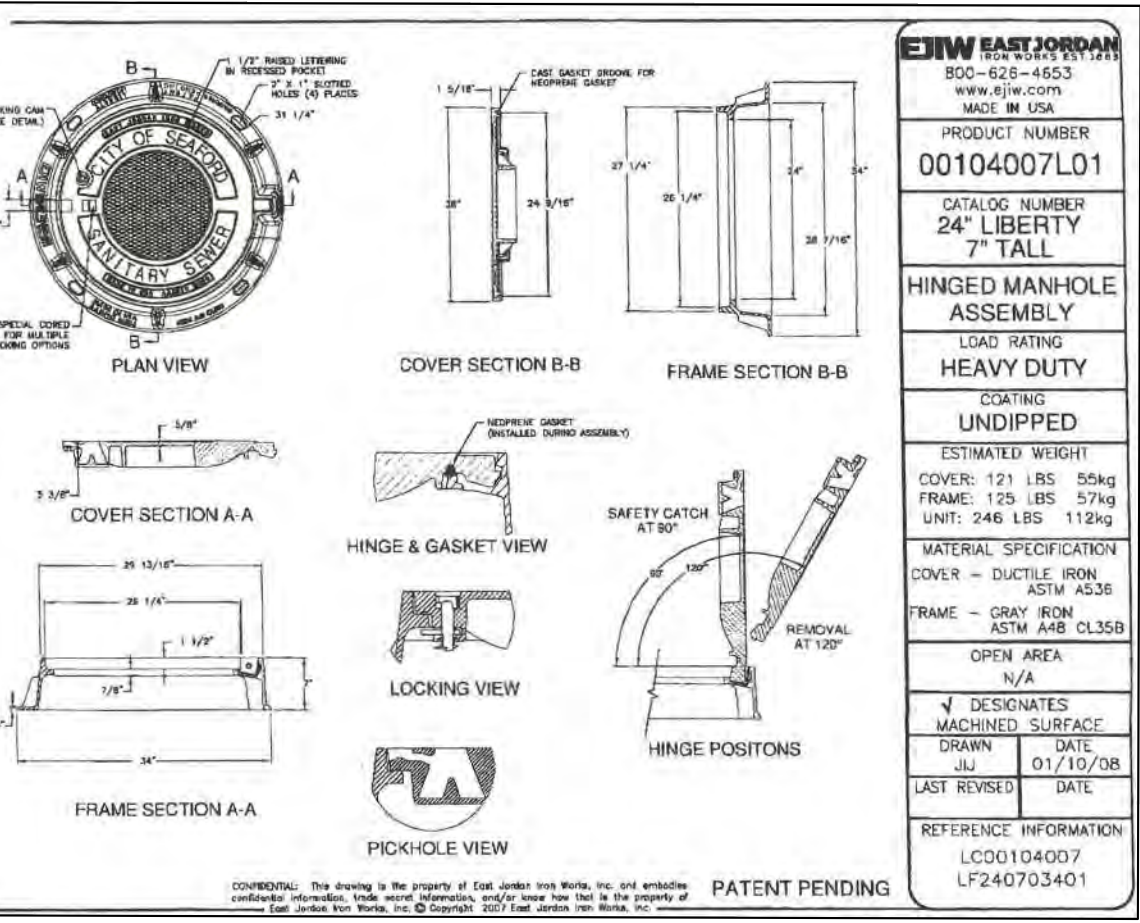
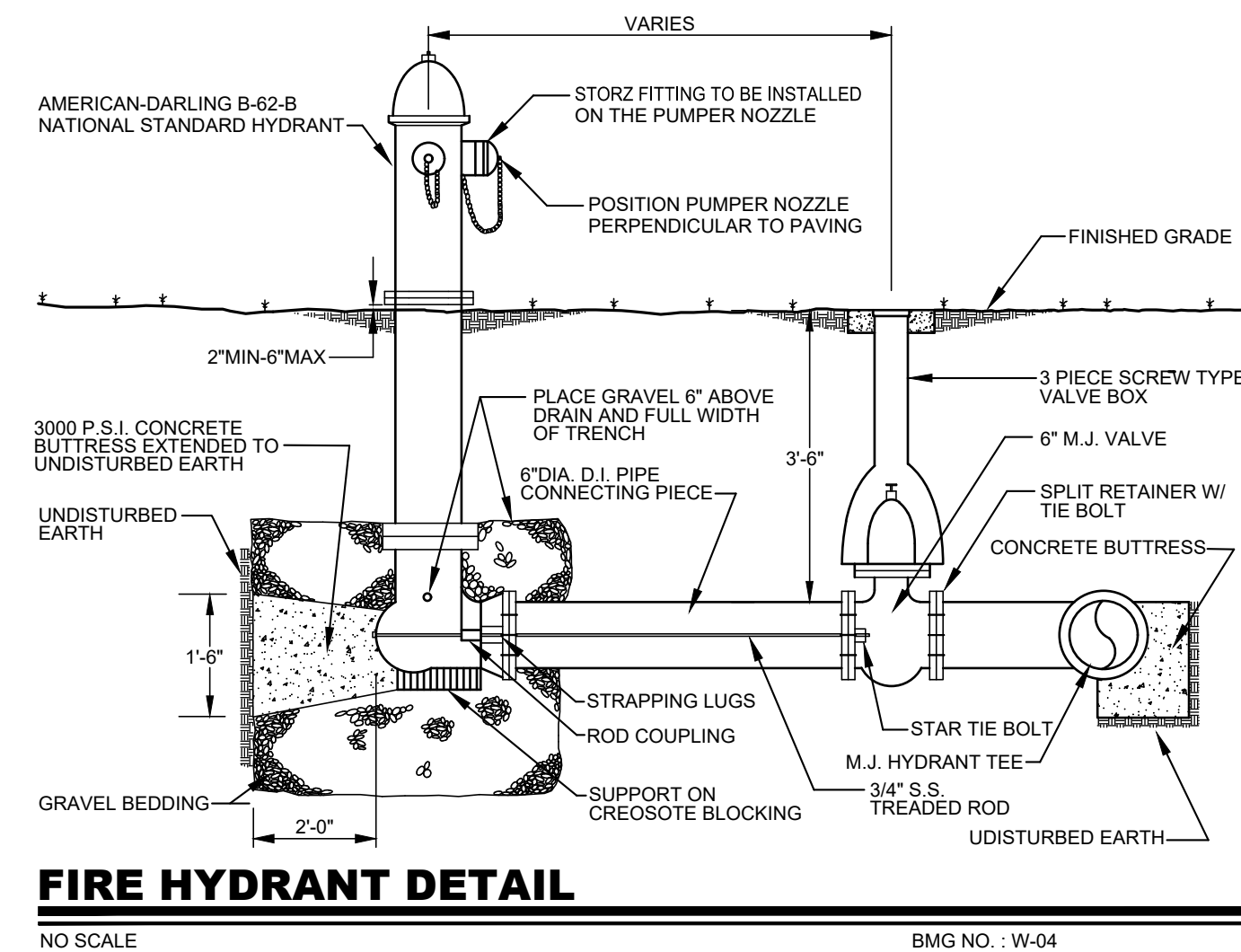
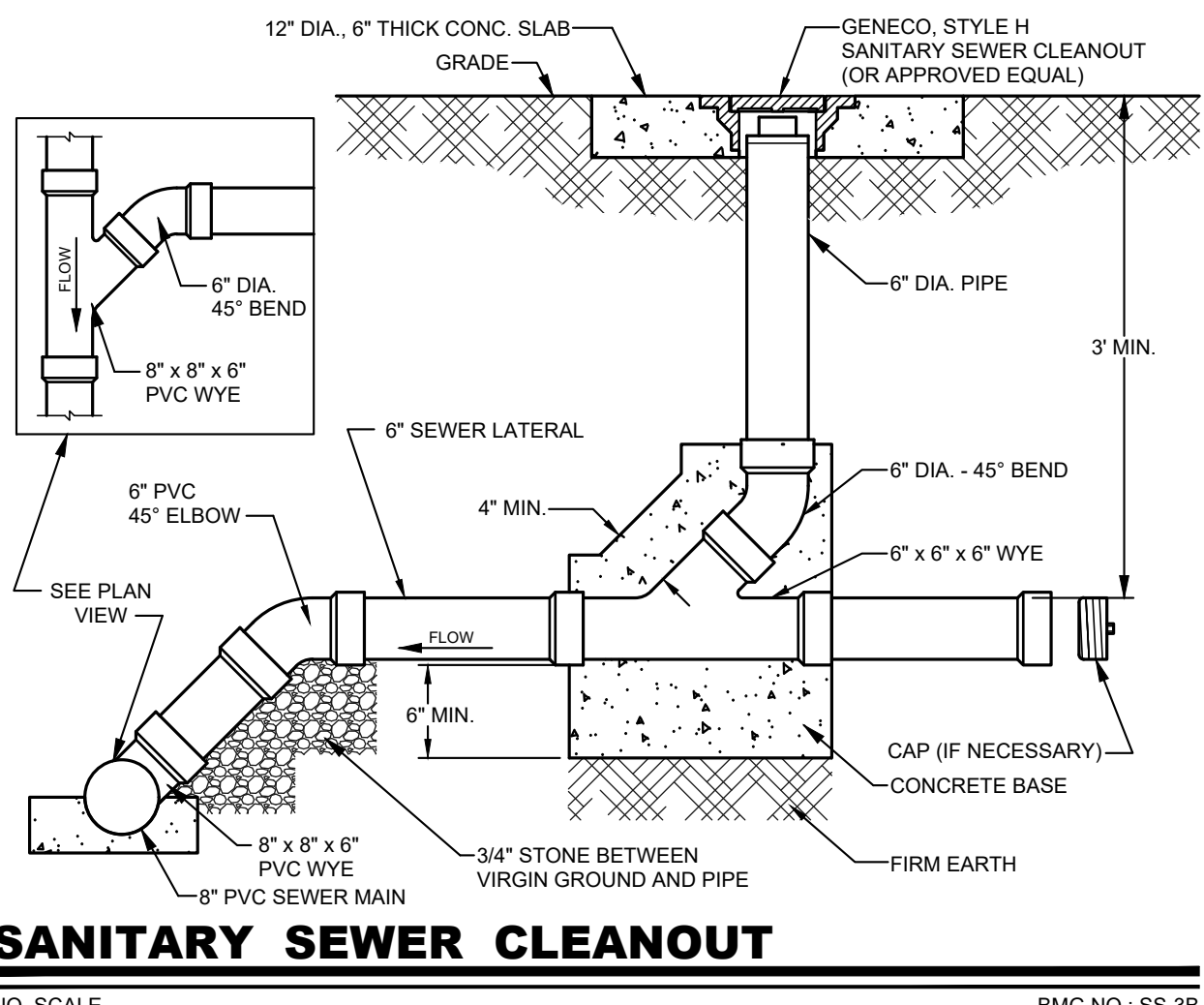
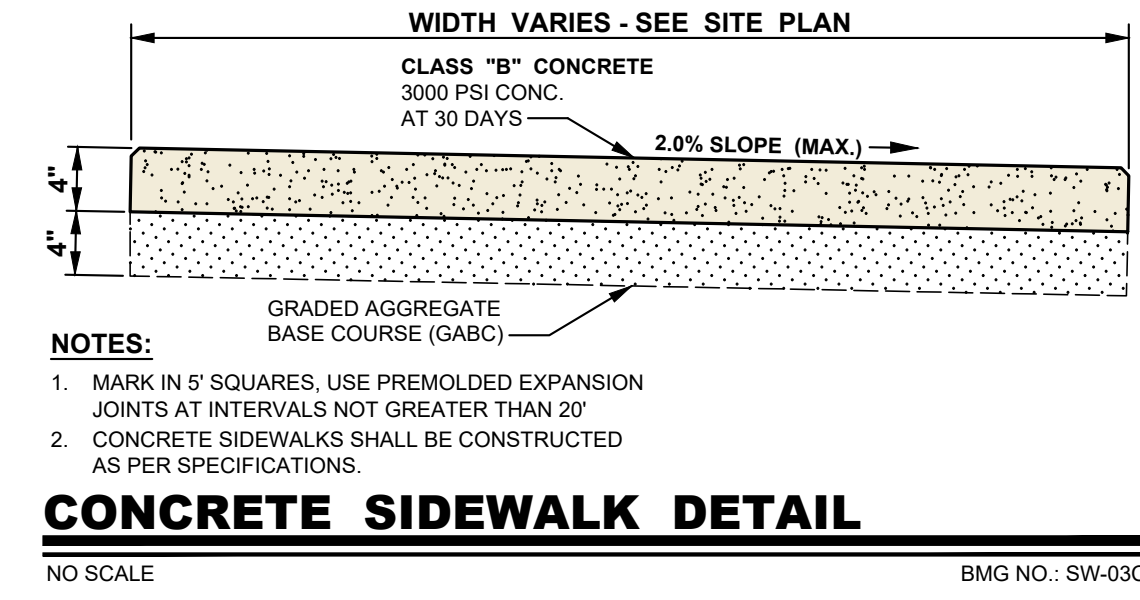
SCALE: NONE

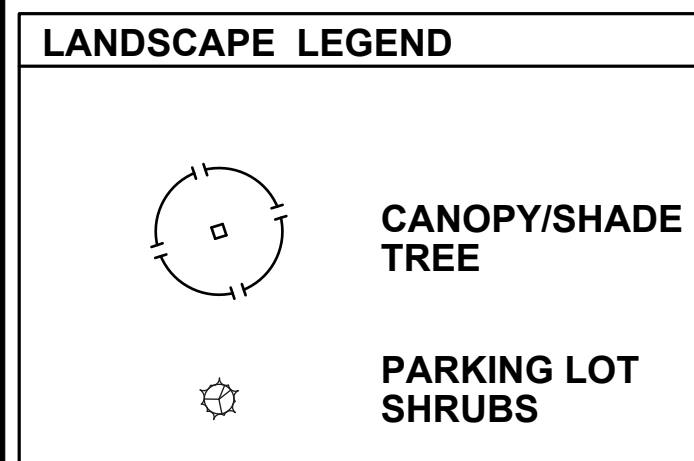
DRAWN BY: A.C.F. PROJ. MGR.: J.D.R.

SHEET

**C-901**

COPYRIGHT 2021





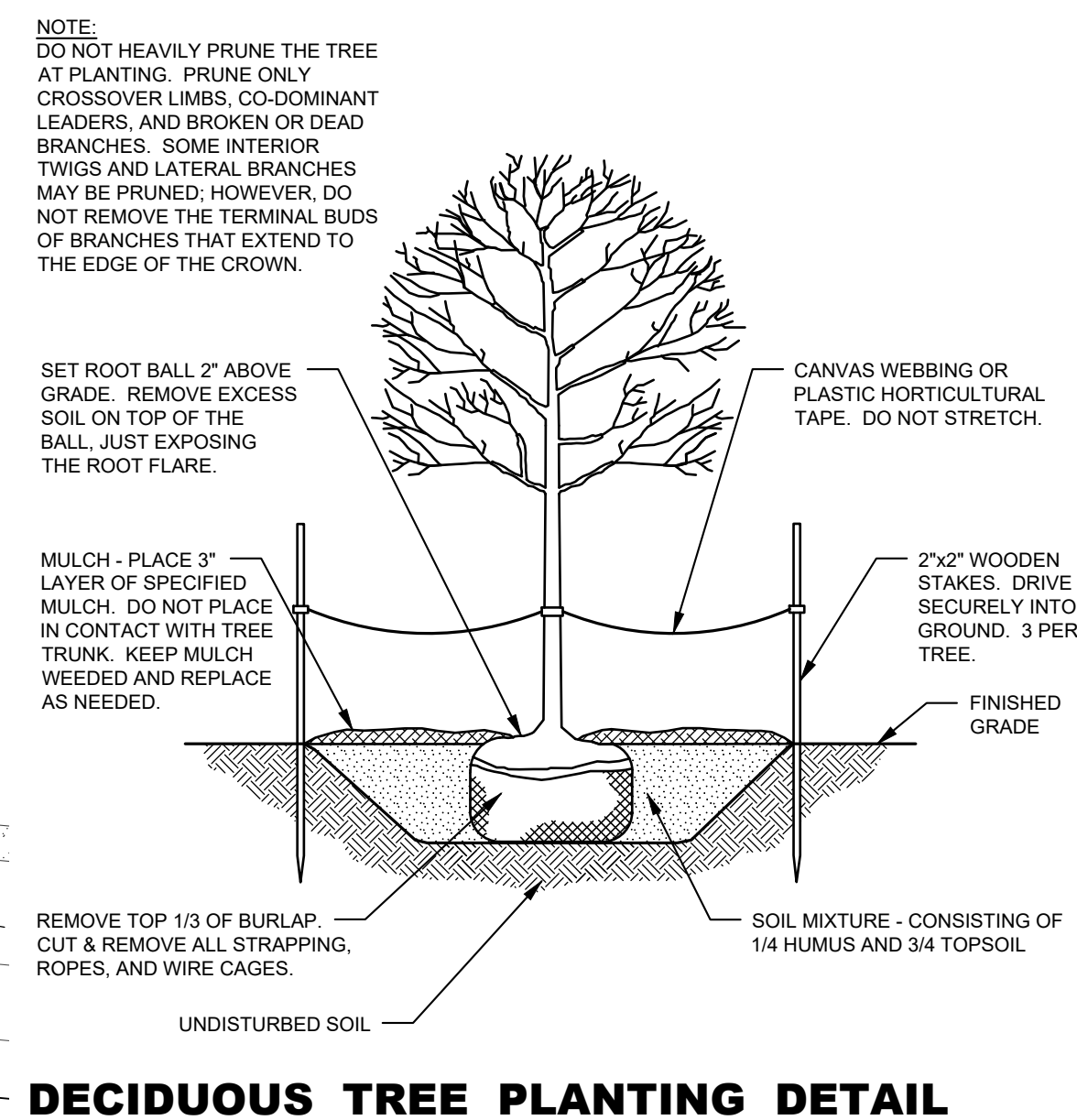
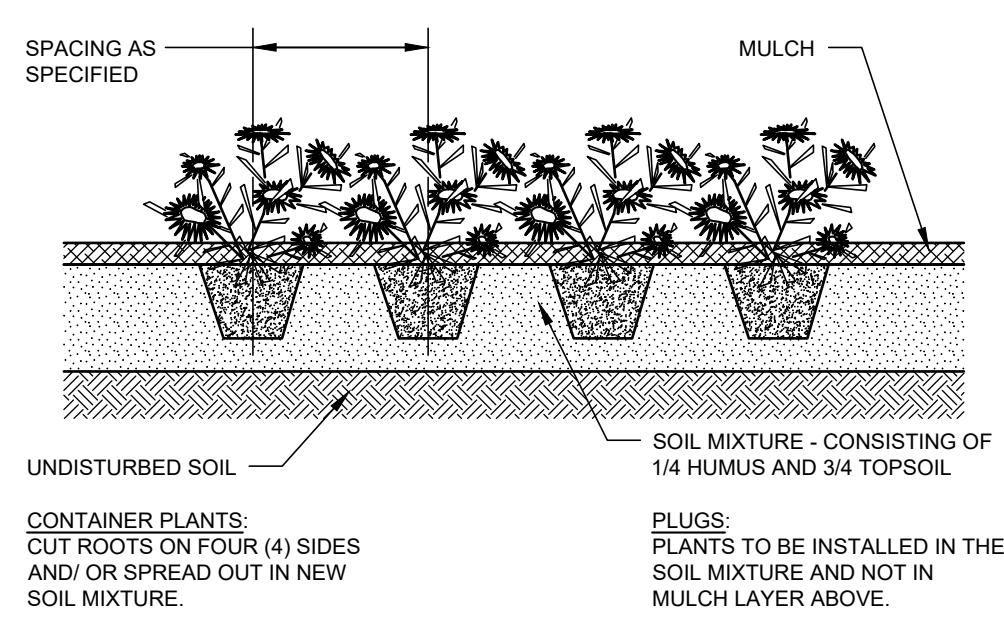
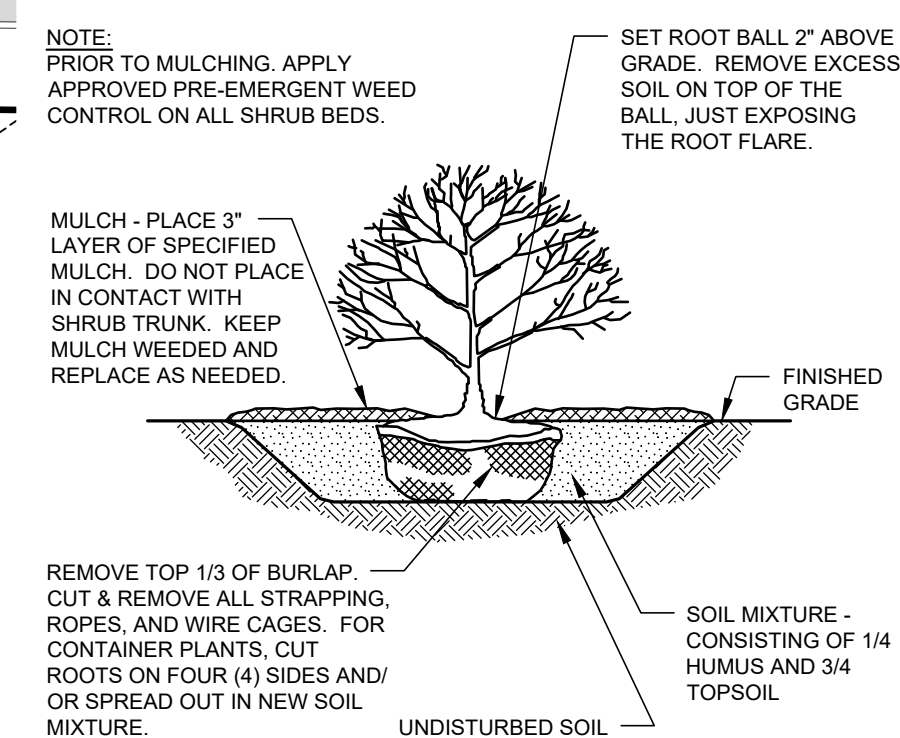
PLANT LIST						
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
CANOPY TREES						
BN	13	BETULA NIGRA	HERITAGE RIVER BIRCH	2 1/2" CAL	B&B	FHV
QR	12	QUERCUS RUBRA	NORTHERN RED OAK	2 1/2" CAL	B&B	FHV
AR	8	ACER RUBRUM	SUNSET RED MAPLE	2 1/2" CAL	B&B	FHV
SHRUBS						
BT	30	BERBERIS THUNGERGII	CRIMSON PYGMY	24-36"	CONT.	
IG	40	ILEX GLABRA	SHAMROCK HOLLY	24-36"	CONT.	
IV	56	ILEX VERTICILLATA	WINTERBERRY	24-36"	CONT.	
IT	68	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	24-36"	CONT.	
TOTAL: 33 TREES, 194 SHRUBS						

**LANDSCAPE REQUIREMENTS :**

- TOTAL IMPROVED AREA : 9.62 AC ±
- LANDSCAPING REQUIREMENTS:
  - ANY PART OR PORTION OF THE SITE WHICH IS NOT USED FOR BUILDINGS, OTHER STRUCTURES, LOADING OR PARKING SPACES AND AISLES, SIDEWALKS ARE DESIGNATED STORAGE AREAS SHALL BE PLANTED WITH AN ALL SEASON GROUND COVER AND SHALL BE LANDSCAPED WITH TREES AND SHRUBS IN ACCORDANCE WITH AN OVERALL LANDSCAPE PLAN AND SHALL AND IN KEEPING WITH NATURAL SURROUNDINGS A REPLACEMENT PROGRAM NON-SURVIVING PLANTS SHOULD BE INCLUDED.
  - THE PLOT PLAN MUST SHOW A SATISFACTORY METHOD OF IRRIGATING ALL PLANTED AREAS. THIS MAY BE EITHER BY A PERMANENT WATER SYSTEM OR BY HOSE. ANY SINGLE PARKING AREA WITH FIFTY (50) OR MORE SPACES SHALL UTILIZE AT LEAST FIVE PERCENT (5%) OF ITS AREA IN LANDSCAPING, WHICH SHALL BE IN ADDITION TO OPEN AREA REQUIREMENTS OF THE DISTRICT.
- PROPOSED PLANTINGS PROVIDED : 33 TREES  
195 SHRUBS

**GENERAL LANDSCAPE NOTES :**

- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK". EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES. ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 7'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE DETAIL SHOWN. PLANT MATERIALS DELIVERED TO THE SITE IN UNCOVERED TRUCKS WILL BE REJECTED. UNACCEPTABLE PLANT MATERIALS: MATERIALS WHICH HAVE DAMAGED OR CROOKED LEADERS, DEFORMED GROWTH HABIT, ABRASIONS OF THE BARK, SUN SCALD, WINDBURN, DISFIGURING NOT COMPLETELY CALLED WILL BE REJECTED. IN ADDITION, TREES HAVING THEIR CENTRAL LEADERS HEADED BACK WILL ALSO BE REJECTED. PLANTS WITH LOOSE OR CRACKED ROOT BALL OR CONTAINERS WILL BE REJECTED.
- ALL PLANTS SHALL BE PLANTED IN TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOD, STIFF CLAY, LITTER, STONES IN EXCESS OF ONE (1) INCH DIAMETER, ETC. SHALL BE USED FOR PLANTING. MULCH FOR PLANTING BEDS SHALL BE SHREDED HARDWOOD BARK MULCH UNLESS OTHERWISE SPECIFIED ON THE PLANS AND SHALL HAVE NO LEAVES, YOUNG GREEN GROWTH, BRANCHES, TWIGS, GREATER IN DIAMETER OF 1/2", WEEDS, SHAVINGS OR FOREIGN MATERIAL SUCH AS STONES, ETC. SHALL BE MIXED WITH THE MULCH. ALL SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS WITH A LIGHTLY COMPACTED DEPTH OF THREE (3) INCHES. ALL CONTAINER PLANTS ARE TO HAVE ROOTS CUT ON FOUR SIDES AND/OR SPREAD OUT IN NEW SOIL MIXTURE.
- ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN AND NOTES).
- LANDSCAPE BEDS NOT DEFINED BY CURBS, SIDEWALKS, WALLS OR OTHER STRUCTURES SHALL BE ENCLOSED BY ALUMINUM EDGING UNLESS OTHERWISE INDICATED.
- AREAS DISTURBED BY LANDSCAPE OPERATIONS SHALL BE GRADED TO MATCH EXISTING TOPSOIL AND SEED OR SOD AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGING TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
- NO PLANT, EXCEPT GROUNDCOVERS, SHALL BE WITHIN THREE (3) FEET FROM SIDEWALKS.
- NO TREE SHALL BE PLANTED CLOSER THAN TEN (10) FEET FROM ANY STRUCTURE OR BUILDING.
- NO TREE SHALL BE PLANTED WITHIN TEN (10) FEET OF UNDERGROUND UTILITIES OR FIRE HYDRANTS.
- ONLY TREES THAT REACH A HEIGHT AND SIZE AT MATURITY OF SMALL TO MEDIUM SHALL BE PLANTED UNDER POWER LINES.
- THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON, UNLESS THE OWNER AGREES TO MAINTAIN AND WATER THEM.
- TREES TO REMAIN ON-SITE SHALL BE PROTECTED WITH SNOW FENCING DURING CONSTRUCTION (SEE DETAIL). SNOW FENCING TO BE MAINTAINED DURING CONSTRUCTION BY CONTRACTOR.
- THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER AND/OR THE LANDSCAPE ARCHITECT.
- ALL NEW TREES SHALL BE GUARANTEED TO SURVIVE FOR ONE FULL YEAR AFTER INSTALLATION (FULL COST). ALL STAKES AND GUYS SHALL BE REMOVED FROM TREES AND SITE AS EARLY AS THREE (3) MONTHS, BUT NO LONGER THAN ONE (1) YEAR AFTER PLANTING.



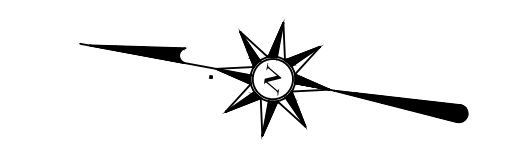
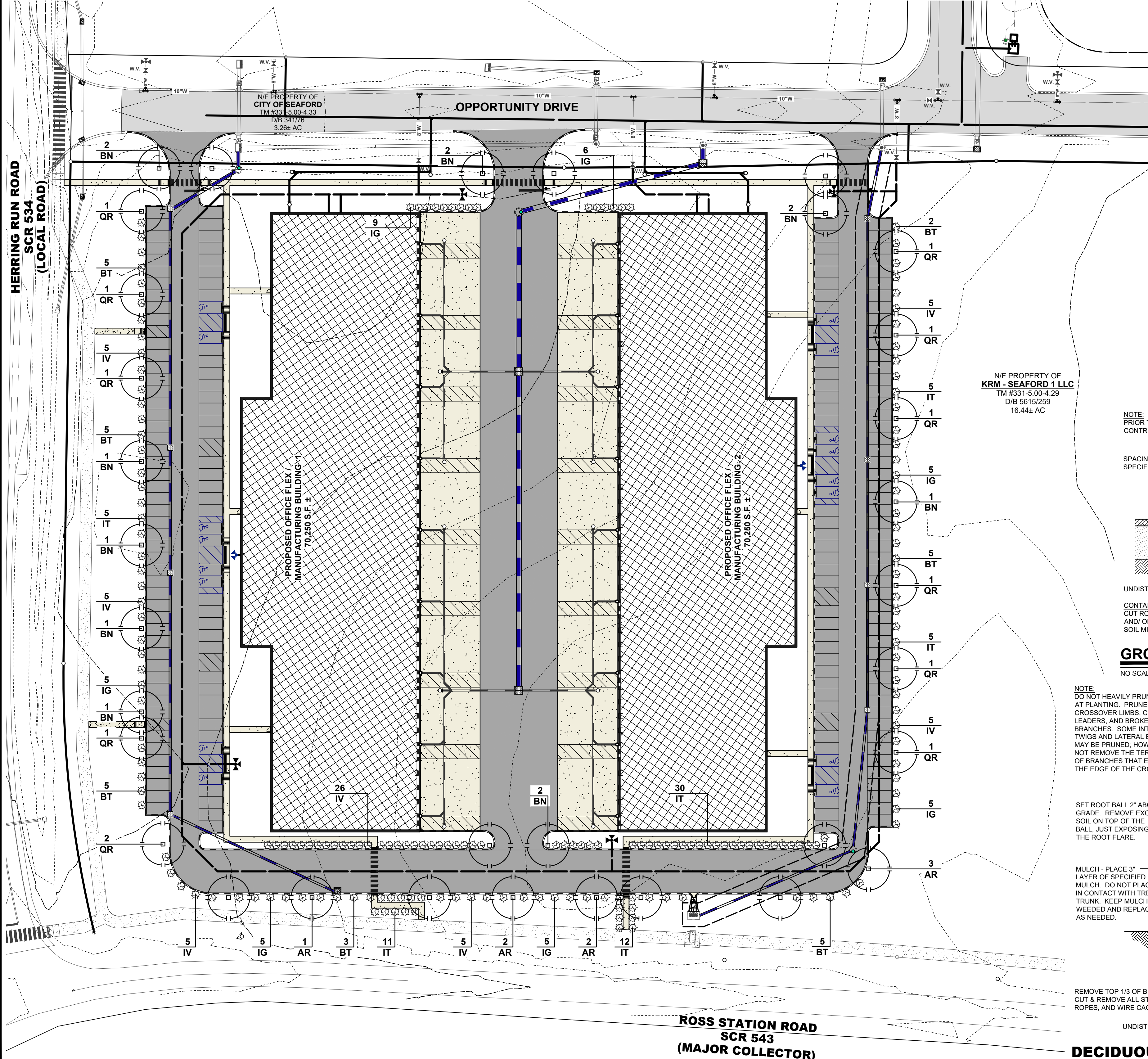
**GENERAL IRRIGATION NOTES :**

- MULCH: AFTER COMPLETION OF ALL PLANTING, ALL IRRIGATED NON-TURF AREAS SHALL BE COVERED WITH A MINIMUM LAYER OF FOUR (4) INCHES OF MULCH TO RETAIN WATER, INHIBIT WEED GROWTH AND MODERATE SOIL TEMPERATURE. NON-POROUS MATERIAL SHALL NOT BE PLACED UNDER THE MULCH.
- LANDSCAPE WATER METER: A WATER METER AND BACKFLOW PREVENTION ASSEMBLY THAT ARE IN COMPLIANCE WITH STATE CODE SHALL BE INSTALLED FOR LANDSCAPE IRRIGATION SYSTEMS, AND THE LANDSCAPE WATER METER AND BACKFLOW PREVENTION ASSEMBLY SHALL BE SEPARATE FROM THE WATER METER AND BACKFLOW PREVENTION ASSEMBLY INSTALLED FOR INDOOR USES. THE SIZE OF THE METER SHALL BE DETERMINED BASED ON IRRIGATION DEMAND.
- PRESSURE REGULATION: A PRESSURE REGULATING VALVE SHALL BE INSTALLED AND MAINTAINED BY THE CONSUMER IF THE STATIC SERVICE PRESSURE EXCEEDS 80 POUNDS PER SQUARE INCH (PSI). THE PRESSURE REGULATING VALVE SHALL BE LOCATED BETWEEN THE LANDSCAPE WATER METER AND THE FIRST POINT OF WATER USE, OR FIRST POINT OF DIVISION IN THE PIPE, AND SHALL BE SET AT THE MANUFACTURER'S RECOMMENDED PRESSURE FOR SPRINKLERS.
- AUTOMATIC CONTROLLER: ALL IRRIGATION SYSTEMS SHALL INCLUDE AN ELECTRIC AUTOMATIC CONTROLLER WITH MULTIPLE PROGRAM AND MULTIPLE REPEAT CYCLE CAPABILITIES AND A FLEXIBLE CALENDAR PROGRAM. ALL CONTROLLERS SHALL BE EQUIPPED WITH AN AUTOMATIC RAIN SHUT-OFF DEVICE.
- ON SLOPES EXCEEDING 30%, THE IRRIGATION SYSTEM SHALL CONSIST OF DRIP EMITTERS, BUBBLERS, OR SPRINKLERS WITH A MAXIMUM PRECIPITATION RATE OF 0.85 INCHES PER HOUR AND ADJUSTED SPRINKLER CYCLE TO ELIMINATE RUNOFF.
- EACH VALVE SHALL IRRIGATE A LANDSCAPE WITH SIMILAR SITE, SLOPE AND SOIL CONDITIONS AND PLANT MATERIALS WITH SIMILAR WATERING NEEDS. TURF AND NON-TURF AREAS SHALL BE IRRIGATED ON SEPARATE VALVES.
- DRIP EMITTERS OR A BUBBLER SHALL BE PROVIDED FOR EACH TREE WHERE PRACTICABLE. BUBBLERS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE PER DEVICE. BUBBLERS FOR TREES SHALL BE ON SEPARATE VALVE UNLESS SPECIFICALLY NOTED.
- SPRINKLERS SHALL HAVE MATCHED PRECIPITATION RATE WITH EACH CONTROL VALVE CIRCUIT.
- CHECK VALVES SHALL BE REQUIRED WHERE ELEVATION DIFFERENCES WILL CAUSE LOW-HEAD DRAINAGE. PRESSURE COMPENSATING VALVES AND SPRINKLERS SHALL BE REQUIRED WHERE A SIGNIFICANT VARIATION IN WATER PRESSURE WILL OCCUR WITHIN THE IRRIGATION SYSTEM DUE TO ELEVATION DIFFERENCES.
- DRIP IRRIGATION LINES SHALL BE PLACED UNDERGROUND OR OTHERWISE PROTECTED, EXCEPT FOR DRIP EMITTERS AND WHERE APPROVED AS A TEMPORARY INSTALLATION. FILTERS AND END FLUSH VALVES SHALL BE PROVIDED AS NECESSARY.
- IRRIGATION ZONES WITH OVERHEAD SPRAY OR STREAM SPRINKLERS SHALL BE DESIGNED TO OPERATE BETWEEN 6:00 P.M. AND 10:00 A.M. TO REDUCE WATER LOSS FROM WIND AND EVAPORATION. THIS WOULD EXCLUDE DRIP OR BUBBLER ZONES.
- PROGRAM VALVES FOR MULTIPLE REPEAT CYCLES WHERE NECESSARY TO REDUCE RUNOFF, PARTICULARLY SLOPES AND SOILS WITH SLOW INFILTRATION RATES.

**DELAWARE LANDSCAPE ARCHITECTS CERTIFICATION**

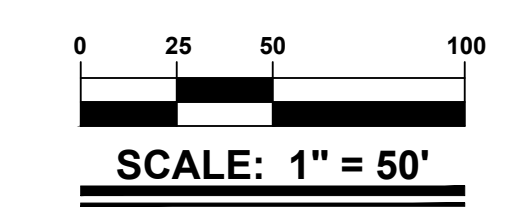
I, CHAD D. CARTER, RLA, ASLA, HEREBY CERTIFY THAT I AM A LANDSCAPE ARCHITECT IN THE STATE OF DELAWARE, THAT THE LANDSCAPING INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF, REPRESENTS GOOD LANDSCAPING PRACTICES.

CHAD D. CARTER, RLA, ASLA No. S1-499  
DATE: 09-12-2022



PROJECT TITLE  
**WESTERN SUSSEX BUSINESS CAMPUS**  
CITY OF SEAFORD  
SUSSEX COUNTY, DE

SHEET TITLE  
**LANDSCAPE PLAN**



ISSUE BLOCK

NO.	DATE	DESCRIPTION
6.	02-03-23	REVISED PER DNREC COMMENTS ISSUED ON 02-01-2023
5.	12-16-22	REVISED PER SCD COMMENTS ISSUED ON 12-07-2022
4.	11-30-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 11-18-2022
3.	11-15-22	REVISED PER CITY OF SEAFORD COMMENTS ISSUED ON 10-11-2022
2.	10-10-22	REVISED PER FIRE MARSHAL COMMENTS ISSUED ON 09-22-2022
1.	10-07-22	REVISED PER SCD COMMENTS ISSUED ON 10-03-2022

MARK DATE DESCRIPTION

PROJECT NO.: 2021150.00  
DATE: 09-12-2022  
SCALE: 1" = 50'  
DRAWN BY: A.C.F. / PROJ. MGR.: J.D.R.  
SHEET  
**L-001**  
COPYRIGHT 2021



CHAD D. CARTER, RLA, ASLA S1-499 DATE: 02-03-2023